# Dangberg Home Ranch Restoration Projects PWP-DO-2022-180

Dangberg Home Ranch 1450 NV-88 Minden, Nevada 89423



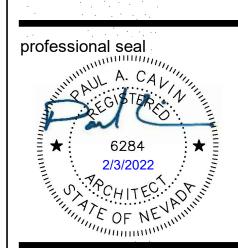
Bid Documents 2/10/2022

# Paul Cavin Architect LLC

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consultant

project

Dangberg Home Ranch Restoration Projects

Bangberg Hom Dangberg Hom 1450 NV-88

drawn by RBR
reviewed by MLM
date 2/10/2022
project number 21018

Cover Sheet

sheet number

A000

#### **General Notes**

- The General Notes and all other notes herein apply to all work described in the Contract
- The Contract Documents consist of the Agreement between the Owner and Contractor, the Conditions of the Contract (General, Supplementary, Invitation to Bid and other Conditions), Drawings, Project Manual, Specifications and Addenda issued prior to execution and all modifications issued after execution of the Contract.
- The Work includes the completed or partially completed construction required by the Contract Documents and includes all labor, materials, equipment, coordination, and services necessary to produce the Work described in the contract documents.
- The Contract Documents are complementary, the intent is to include all items and materials necessary for the proper execution and completion of the Work by the Contractor and any necessary sub-contractors.
- The Contractor shall carefully study and compare the Contract Documents and shall at once report to the Architect any error, incosistency or omission that is discovered. The Contractor to submit a Request for Information (RFI) to the Architect prior to proceeding. The Contractor shall not perform any portion of the Work at any time without current and complete Contract Documents.
- The Contractor is required to visit the site as part of pre-bid preparation to compare the Drawings and Specifications and become familiar with any work in place and be informed of all conditions of the work environment including the Work being performed. Failure to visit the site will in no way relieve the Contractor from necessity of furnishing any materials of performing any Work in accordance with the Contract Documents that may be required to complete the Work. The Contractor shall report inconsistencies in the drawings, specifications, and site conditions to the Owner and Architect during the bid period. Failure not to report inconsistancies does not relieve the Contractor from furnishing or providing the necessary material and/or labor to complete the work described in the Contract
- Drawings are not to be scaled for information or disassembled for convenience.
- In the event certain features of the Work are not fully shown in the Contract Documents, then the construction shall be of the same character as for similar conditions that are shown or called for and shall be reviewed by the Architect prior to execution.
- All Work shall be performed within strict conformance to the minimum standards of the current edition of the International Building Code (IBC) and all applicable national, state and local laws, regulations and ordinances.
- 10. The Contractor shall comply with notices given and required by lawful orders of public authorities applicable to the performance of the Work.
- 11. The Contractor shall coordinate locations of any and all items, including but not limited to: existing conditions, civil, landscape, structural, mechanical, plumbing, electrical, lighting, data, voice and audio/visual; including, but not limited to all structure. equipment, ductwork piping and conduit. Coordinate all required clearances for installation and maintenance of the above items.
- The Contractor shall supervise and direct the Work, using the best skill and attention necessary and shall be solely responsible for all construction means, methods, techniques, sequences, procedures and for coordination of all portions of the Work described in the Contract Documents.

- The Contractor shall be responsible for the acts and omissions of the Contractor's employees, Sub-contractors, suppliers, vendors and their agents and employees and other persons or entities performing any portion of the Work under a Contract with the Contractor.
- 14. The Contractor shall perform the Work in a continuous and diligent manner to ensure Substantial Completion of the Project within the Contract Time.
- 15. The Contractor shall be responsible for the location and protection of all existing items and materials, all new construction items and materials, adjacent circulation paths (pedestrian and vehicular), and other improvements during the course of construction.
- Unless noted otherwise in the Contract Documents, the Contractor shall provide and pay for all labor, materials, equipment, tools, machinery, water, heating, utilities, transportation and other facilities and services necessary for the proper execution and completion of the Work.
- Where conflicts are encountered within the Contract Documents that will effect the quality or extent of the work, such conflict shall be resolved to the satisfaction of the Owner and Architect before the affected items and materials are purchased, fabricated or installed.
- Where variance occurs between the drawings, specifications, site, and design disciplines, the more stringent requirements shall govern.
- Where conflicts occur at the Project site, coordinate the necessary layouts and exact locations of all elements of work in conflicting areas with the Architect in the field before proceeding with the Work.
- 20. Where pre-manufactured items and materials are to be installed, the Contractor shall verify all necessary dimensions in the field prior to the purchase and/or fabrication of the items and materials.
- 21. The Contractor warrants that materials and equipment furnished under the Contract 32. will be of good quality and new unless identified otherwise in the Contract Documents.
- 22. The Contractor shall guarantee and warranty all work and materials to the project to be free from defects for a minimum of one year from the date of substantial completion and promptly remedy such defects and any subsequent damage caused by the defects or repair thereof at no expense to the Owner. Guarantee and warranty periods greater than one year may be required elsewhere in the Contract
- 23. Where any item or material is indicated in the Contract Documents and not necessarily detailed in each specific case, but are required for a complete and professional installation, such item or material shall be provided as if shown and detailed in full. Contractor to provide all necessary labor, materials, means and methods to furnish and install.
- 24. The Contractor shall employ a competent Project Manager, Superintendent and necessary personnel for the Work. The Superintendent shall be in attendance at the Project site during execution of the Work.

**Symbols** 

- The Contractor shall not employ (for the Project at hand) a proposed project manager and/or superintendent, to whom the Owner and/or Architect have made a reasonable and timely objection. The Contractor shall not change the Project Manager or Superintendent without the Owner's consent.
- 26. The Contractor shall be responsible for initiating, maintaining and supervising all safety programs and precautions of the Project and Project site during the course of construction, all Work performed shall conform to applicable safety regulations.
- The Contractor and/or Sub-Contractor shall promptly remedy damage to the Owner's property caused by the Contractor and/or Sub-Contractor to existing conditions and/or new construction.
- The Contractor at all times shall keep the premises free from accumulation of waste materials or rubbish caused by work operations. At the completion of the Work the Contractor shall remove all waste materials and rubbish associated with the Work as well as all tools, construction equipment, machinery and surplus materials.
- The Contractor shall provide the Owner and Architect access to the Project site and Work where ever located. The Contractor shall provide the necessary safety equipment to the Owner, Architect, Engineer or other design personnel visiting the site. Safety equipment shall include, but not be limited to: Hard hat, safety vest, safety glasses, face coverings, reading glasses, dust mask, and hearing protection.
- 30. Existing conditions including material sizes, configurations and locations as shown in the Contract Documents may not be an exact illustration of existing conditions. The Contractor shall include in his bid the cost of furnishing, installing, modifying, existing and new materials required for a complete and professional installation that may be required by minor variation between existing conditions and actual conditions.
- The Contractor shall promptly correct Work rejected by the Architect that fails to conform to the requirements of the Contract Documents, whether discovered before or after Substantial Completion.
- Shop drawings, submittals, product data and samples are not a part of the Contract Documents. The Architect will review such materials, but only for conformance with the design concept of the Work and with the information given in the Contract Documents. The Contractor shall not be relieved of responsibility for any deviation from the requirements of the Contract Documents by the Architect's or Engineer's review of shop drawings, submittals, product data or samples.
- 33. The Architect has the authority to order minor changes in the Work not involving adjustment to the Contract Sum or extension of the Contract Time. Such orders shall not be inconsistent with the intent of the Contract Documents. Such minor changes will be issued in written format, signed by the Architect.
- The existing building and the areas adjacent to the projects scope of work will remain occupied during construction. Contractor to minimize disturbances, noise, dust and debris as much as reasonable in order for the building to remain an active and safe facility.
- The Contract Documents (drawings, project manual, etc.) will be issued to the General Contractor in electronic portable document format (pdf). The General Contractor, sub-contractors, and all others shall be responsible for reproduction (printing) and reproduction costs of the Contract Documents for their use before, during, and after construction operations.

#### **Project Team**

Managing Agency

1594 Esmeralda Avenue

Minden, Nevada 89423

Phone: (775) 782-9829

Structural

Contact: Scott McCullough

CFBR Design Group, LLC

5425 Louie Lane, Suite 2C

Contact: Chris Roper, PE/SE

e-mail: chris@cfbrgroup.com

e-mail: rowland@cfbrgroup.com

Contact: Rowland Perez

Reno. Nevada 89511

Phone: (775) 470-1365

**Douglas County Community Services** 

email: smccullough@douglasnv.us

#### Owner Dangberg Home Ranch 1450 NV-88 Minden, Nevada 89423

Contact: Mark Jensen e-mail: curator@dangberghomeranch.org

#### Architecture

Paul Cavin Architect, LLC 1575 Delucchi Lane. Suite 120 Reno, Nevada 89502 Phone: (775) 842-0261 Contact: Paul Cavin, AIA e-mail: paul@paulcavindesign.com Contact: Mike Maddox e-mail: mike@paulcavindesign.com

#### Electrical

PK Electrical, Inc. 681 Sierra Rose Drive, Suite B Reno, Nevada 89511 Phone: (775) 826-9010 Contact: Joey Ganser, P.E. e-mail: jganser@pkelectrical.com Contact: Kent Parshall e-mail: kparshall@pkelectrical.com

#### Sheet Index

A000 Cover Sheet G100 General Information and Project Data

#### ARCHITECTURAL

Architectural Site Plan (For Reference Only)

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A304 Exterior Elevations - Garage A501 Carriage House Reflected Ceiling Plans

#### A502 Garage Reflected Ceiling Plan

#### STRUCTURAL

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#### **ELECTRICAL**

E001 Electrical Legend, Fixture Schedule and IECC E002 Oneline Diagram, Panel Schedules, Trench Detail

Electrical Site Plan E201 Lighting Plans

E301 Power Plans

#### Design Criteria

#### **Applicable Codes and Regulations:**

- 2018 International Building Code
- 2018 International Existing Building Code
- 2018 International Fire Code 2017 National Electric Code
- 2018 International Energy Conservation Code The Secretary of the Interior's Standards for the Treatment of Historic Properties
- with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings
- U.S. Department of the Interior National Parks Service Cultural Resourses **Preservation Briefs**

#### Scope of Work

The project consist of renovations of the Gateway Entrance Columns, the Garage and the Carriage House. Refer to scope of work for each structure on sheet A001 for a more detailed description of work.

#### Dangberg Ranch



#### Minden Vicinity Map



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project

Ranch **Projects** Home

revisions / Description

MLM 2/10/2022 project number 21018

General Information and Project Data

sheet number

G100

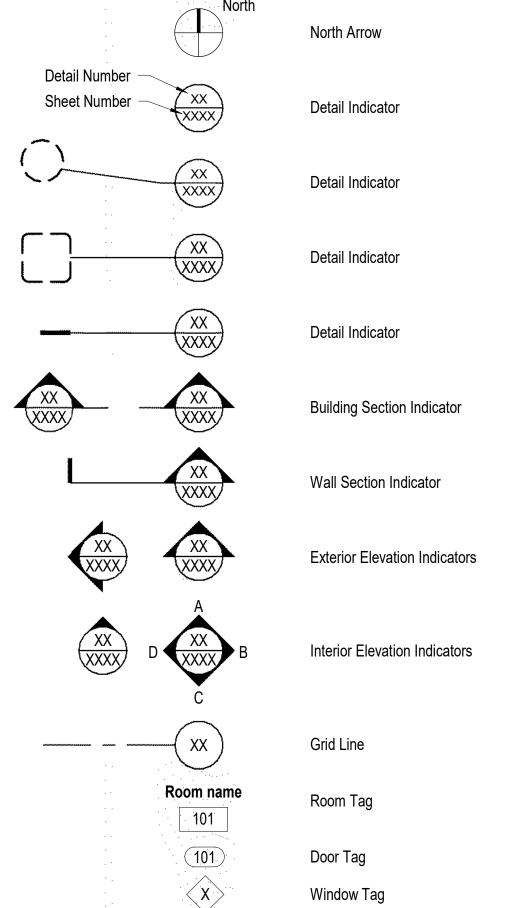


Water Heater

Hollow Core

Hollow Metal

Hot Water



Wall or Partition Type

Accessory Tag



#### Site Plan Notes

- 1. The Overall Site Plan is for reference only and shows the existing conditions. Refer to plans, elevations and detail drawings for additional information. Report any discrepancies found between the drawings and field conditions to the Architect prior to execution of work.
- 2. Coordinate construction operations, schedule, and sequencing with Douglas County Community Services Project Manager and Dangberg Ranch Curator.
- 3. Refer to the Project Manual and other Drawings for additional information and
- 4. Refer to Electrical Drawings and Specifications for additional information, requirements, and improvements.
- 5. Contractor is responsible for safety and security of the Contractor parking and staging area. Temporary fencing is recommended for securing construction materials, vehicles, equiment, etc. at the staging area.
- 6. The Contractor parking and staging area must maintain a clear path for emergency vehicles to circulate around the building at all times.
- 7. At the conclusion of the project the Contractor shall clean the site area and restore to original appearance.
- 8. The general public will have access to the site and Dangberg Ranch exhibits during construction. It is the contractor's responsibility to secure each construction area and prevent conflicts with the general public.

#### Scope of Work for Each Structure

1. Gate

Gateway:

Gateway scope of work consists of exterior cleaning of the masonry monuments, replace and/or install new bricks, repointing of damaged mortar joints, form and place new mortar caps, reconstruct column mortar caps and mortar ornamentation, remove and re-set cattle guard pipes and patch cattle guard concrete surface. See drawings and specifications for additional scope of work.

Carriage House: Carriage House scope of work consists of exterior cleaning, miscellanuos building repairs, prep and painting field/accent colors, clean, lubricate and tighten the garage door hardware, removal, repair and re-install the 4x wood threshold, removal, replacement and painting of the plaster ceiling, minor repairs at stair enclosure, removal of 4" of dirt floor floor and replace with filter fabric and angular gravel, new electrical surface and lighting to the garage portion, clean and refurbish existing electrical to be non-functional and repointing of isolated interior and exterior mortar joints. See drawings and specifications for additional scope of work.

Garage:
Garage scope of work consists of exterior cleaning, miscellanuous building repairs, prep and painting field/accent colors, replacement of the corrugated roofing and flashing, lubricate and tighten the garage door hardware, remove and abandoned modern low voltage electrical wiring and devices, new electrical surface and lighting, clean and refurbish existing electrical to be non-functional, repair and painting of the plaster ceiling and repointing of isolated interior and exterior mortar joints. See drawings and specifications for additional scope of work.

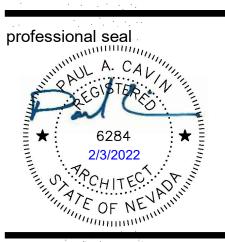
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Dangberg Home Kanc Restoration Projects Dangberg Home Ranch

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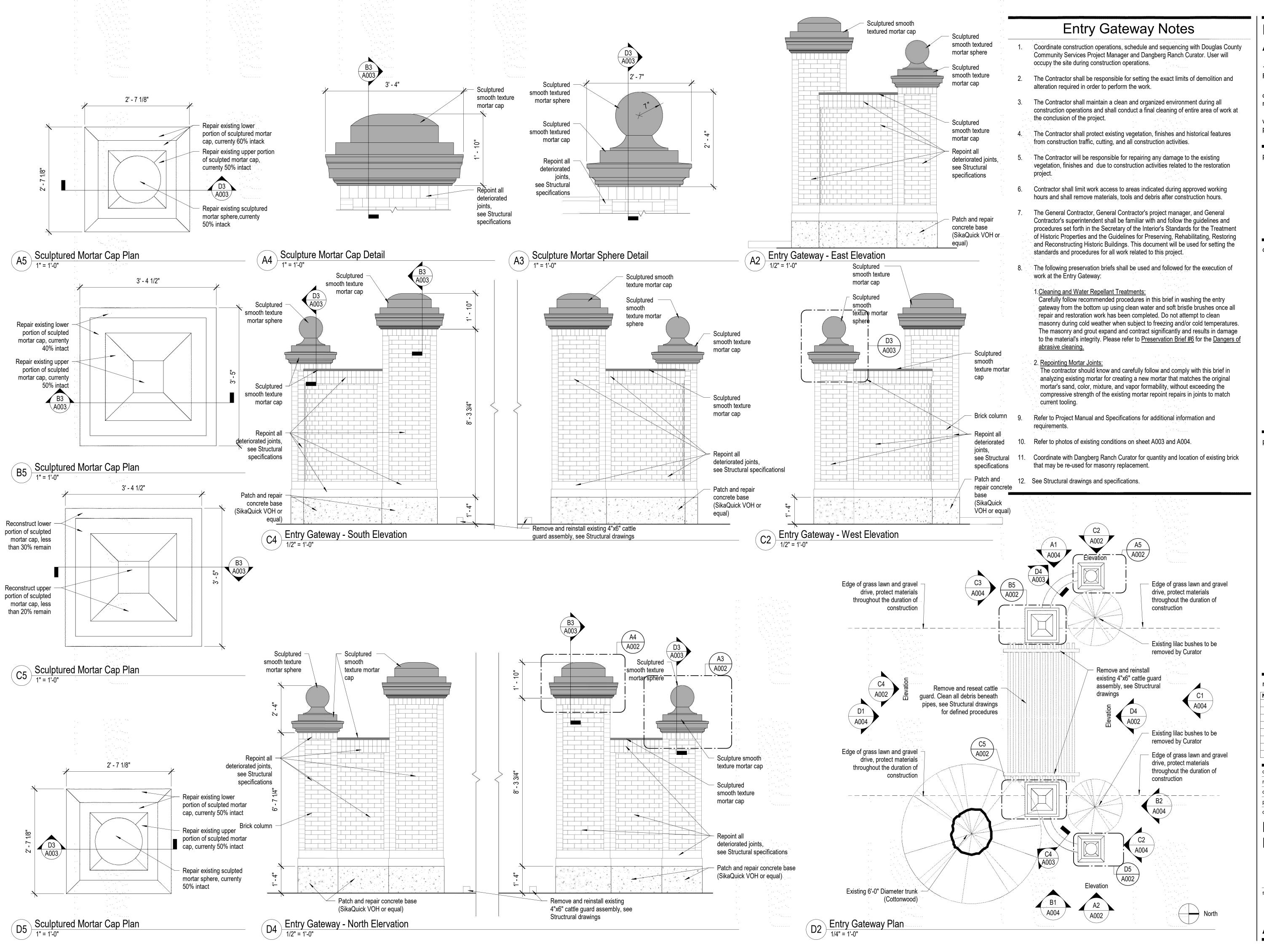
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Architectura	I Site

Plan (For Reference Only)

heet number

4001

D4 Architectural Site Plan
1" = 40'-0"



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project

Dangberg Home Ranch
Restoration Projects
Dangberg Home Ranch
1450 NV-88
Minden, Nevada 89423

revisions Date

No. Description Date

drawn by MLM
reviewed by PAC
date 2/10/2022
project number 21018

drawing name

Entry Gateway Floor Plan

sheet number

A002



Existing deteriorated sculptured mortar cap

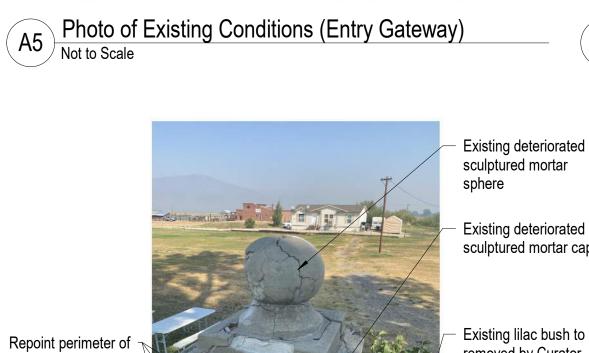
Photo of Existing Conditions (Entry Gateway)

Recovered broken mortar

to create mold replicas

cap/ornamentation segments

to be utilized by the contractor



deteriorated joints,

Repoint perimeter of

deteriorated joints.

sculptured mortar **Existing deteriorated** sculptured mortar cap

cap/ornamentation segments to be utilized by the contractor to create mold replicas

Recovered broken mortar

Existing lilac bush to be removed by Curator



Photo of Existing Conditions (Entry Gateway)

Photo of Existing Conditions (Entry Gateway)



sculptured mortar cap Replace missing brick with owner supplied collection

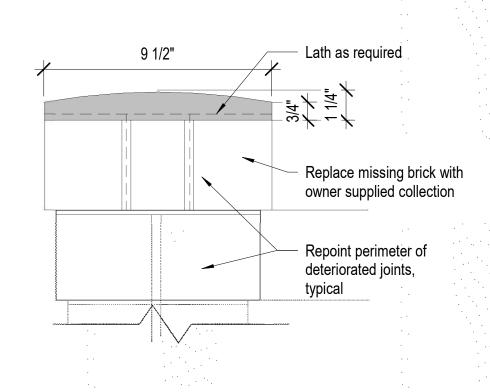
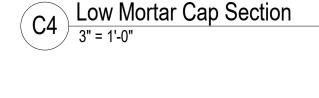


Photo of Existing Conditions (Entry Gateway)





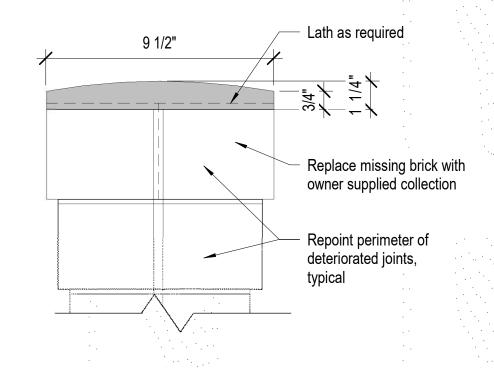
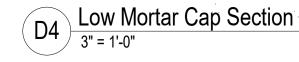
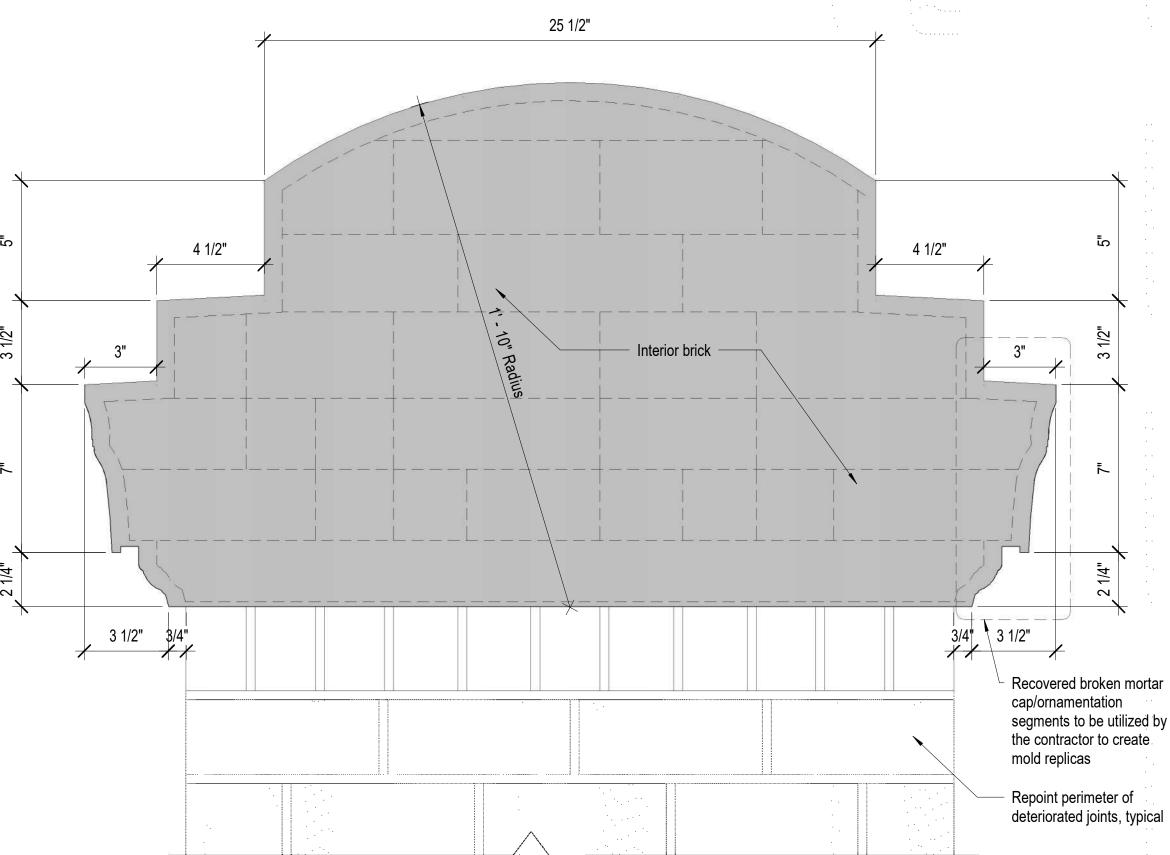
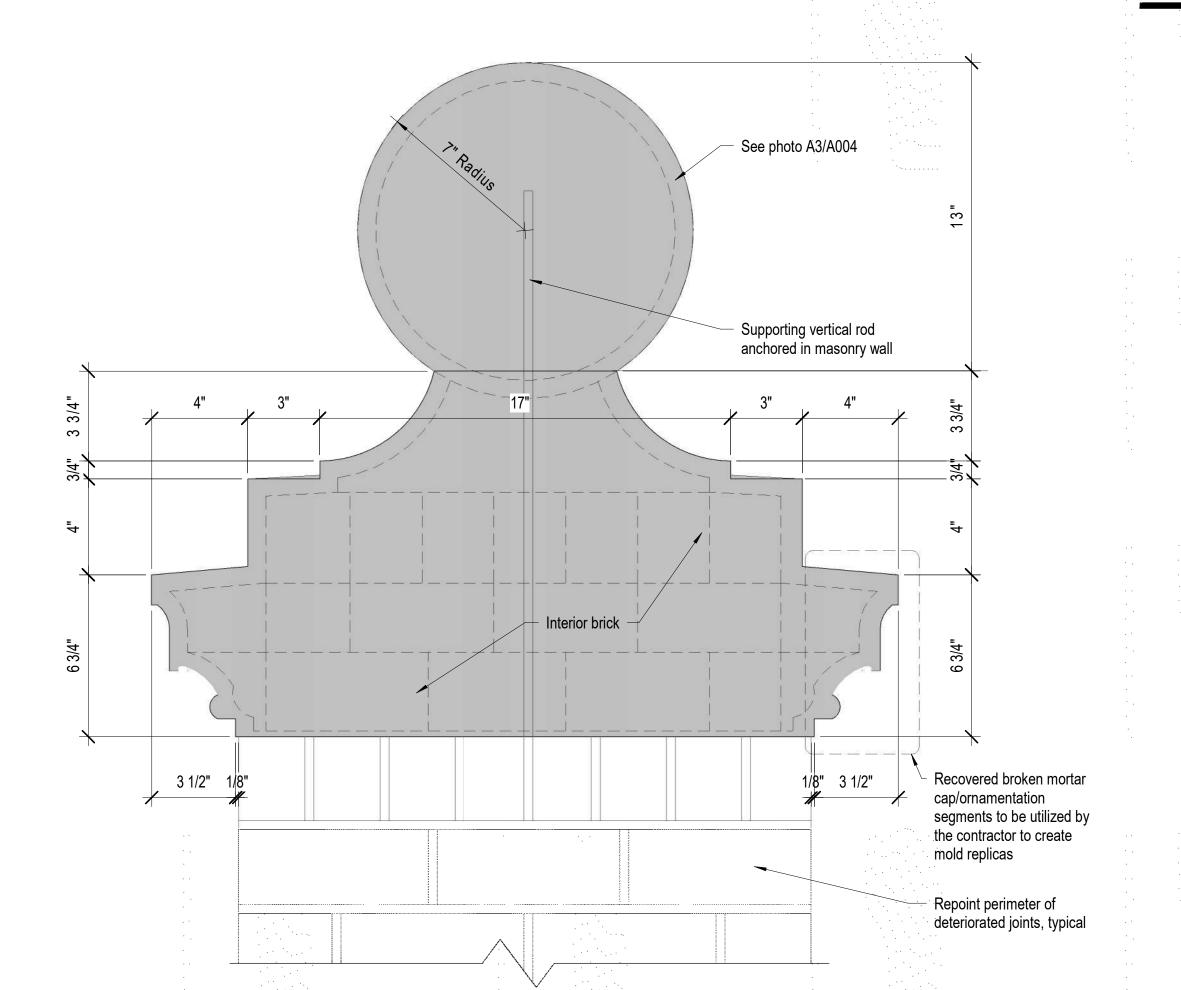


Photo of Existing Conditions (Entry Gateway)







### Sphere Mortar Cap Section

#### **Entry Gateway Notes**

- Coordinate construction operations, schedule and sequencing with Douglas County Community Services Project Manager and Dangberg Ranch Curator. User will occupy the site during construction operations.
- The Contractor shall be responsible for setting the exact limits of demolition and alteration required in order to perform the work.
- The Contractor shall maintain a clean and organized environment during all construction operations and shall conduct a final cleaning of entire area of work at the conclusion of the project.
- The Contractor shall protect existing vegetation, finishes and historical features from construction traffic, cutting, and all construction activities.
- The Contractor will be responsible for repairing any damage to the existing vegetation, finishes and due to construction activities related to the restoration
- Contractor shall limit work access to areas indicated during approved working hours and shall remove materials, tools and debris after construction hours.
- The General Contractor, General Contractor's project manager, and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
- The following preservation briefs shall be used and followed for the execution of work at the Entry Gateway:

#### 1. Cleaning and Water Repellant Treatments:

Carefully follow recommended procedures in this brief in washing the entry gateway from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.

#### 2. Repointing Mortar Joints:

- The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match
- Refer to Project Manual and Specifications for additional information and requirements.
- 10. Refer to photos of existing conditions on sheet A003 and A004.
- 11. Coordinate with Dangberg Ranch Curator for quantity and location of existing brick that may be re-used for masonry replacement.
- 12. See Structural drawings and specifications.

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Ranch **Projects** Dangberg Home Ranch 1450 NV-88 Home Restoration Dangberg

Nevada 89423

, revisions / Description

MLM PAC reviewed by 2/10/2022 21018 project number

drawing name Mortar Column Cap Details



Portion of existing brick to utilize for rebuilding the Gateway Entry cordinate with Dangberg Ranch Curator for quanity and location of existing brick Photo of Existing Conditions

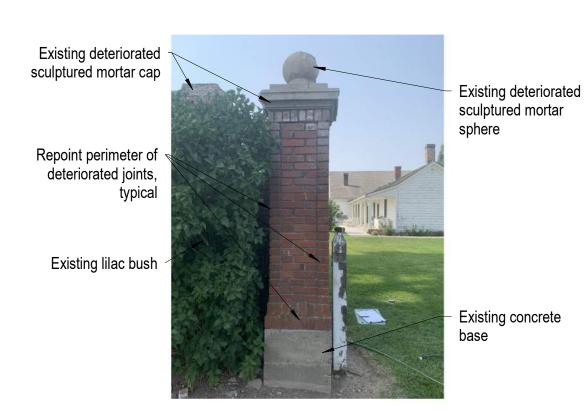


Photo of Existing Conditions

Not to Scale



Repoint perimeter of Existing deteriorated sculptured mortar cap

Photo of Existing Conditions

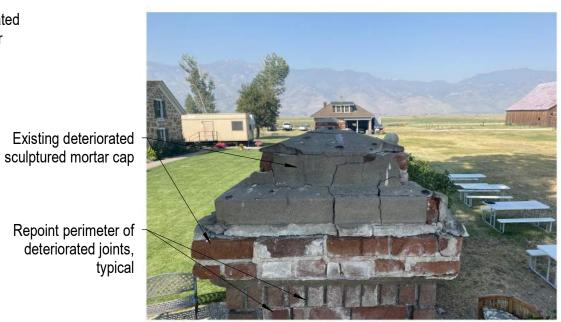


Photo of Existing Conditions

Not to Scale Not to Scale

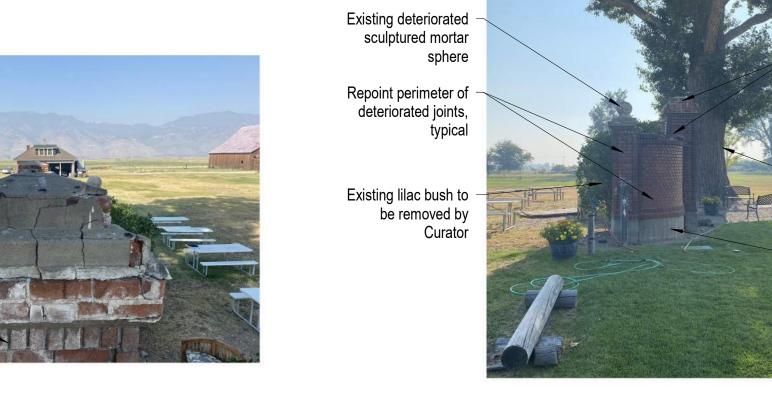
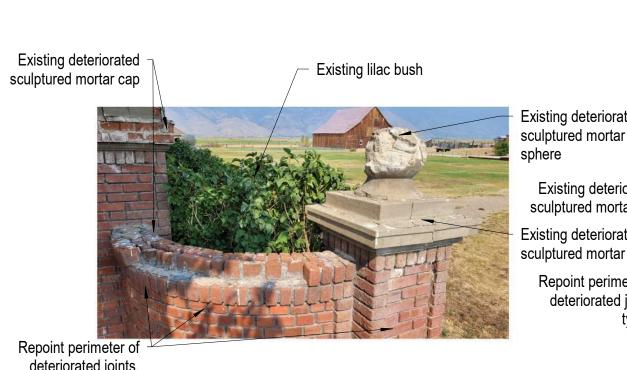


Photo of Existing Conditions



Existing deteriorated



deteriorated joints, Photo of Existing Conditions

Not to Scale



Existing lilac bush to be removed by Curator



Photo of Existing Conditions (Entry Gateway)

Remove and reinstall existing 4"x6" cattle guard assembly, see Structrural Repoint perimeter of deteriorated joints, typical Remove and reseat cattle guard. Clean all debris beneath pipes, see Structural drawings for defined procedures

 Existing 6' diameter cotton wood tree Existing deteriorated sculptured mortar cap Replace missing brick with owner supplied collection Photo of Existing Conditions
Not to Scale

Existing deteriorated sculptured mortar cap Repoint perimeter of deteriorated joints,

**Photo of Existing Conditions** 

Photo of Existing Conditions

sculptured mortar sphere Patch and repair concrete base (SikaQuick VOH or equal)

project

Home Ranch

consultant

**Paul Cavin** 

**Architect LLC** 

6284

Existing deteriorated sculptured mortar cap Existing lilac bush Repoint perimeter of -Replace missing brick with owner

deteriorated joints, supplied collection Photo of Existing Conditions

Existing deteriorated

sculptured mortar

sphere



Photo of Existing Conditions

Not to Scale

Photo of Existing Conditions

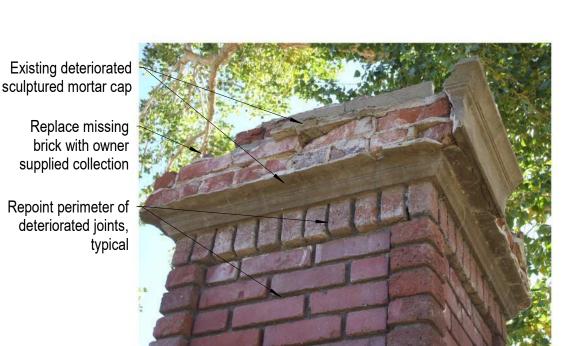
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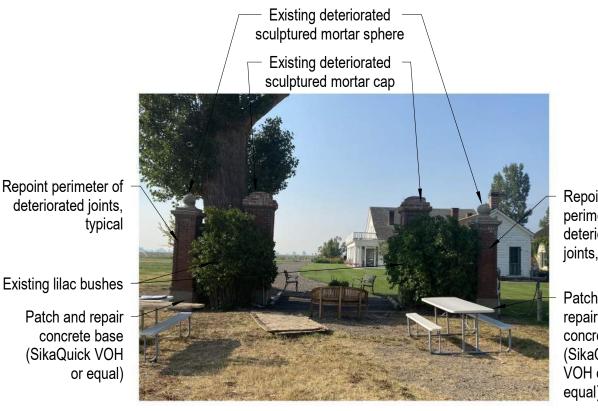
Not to Scale

Photo of Existing Conditions (Entry Gateway)



C2 Photo of Existing Conditions

Not to Scale



Existing deteriorated — sculptured mortar sphere

Existing deteriorated

sculptured mortar cap

deteriorated concrete ba (SikaQuick VOH or

Repoint

perimeter of

deteriorated

diameter

cotton wood

Restoration Projects Dangberg Home Ranch 1450 NV-88 Minden, Nevada 89423 Dangberg revisions \_\_\_\_ Description Date

MLM

PAC reviewed by 2/10/2022 21018 project number drawing name

Gateway - Photos of Existing Condition

sheet number

Existing lilac bush to be removed by Curator Repoint perimeter of deteriorated joints, typical Repoint perimeter of deteriorated joints, typical

sculptured mortar sphere Existing deteriorated sculptured mortar cap Replace missing brick with owner supplied collection Repoint perimeter of deteriorated joints, typical

Existing deteriorated

Photo of Existing Conditions

sphere Existing deteriorated Existing 6' diameter sculptured mortar cap cotton wood tree Existing deteriorated sculptured mortar cap Repoint perimeter of Repoint perimeter o deteriorated joints, deteriorated joints, typical (SikaQuick VOH or

D2 Photo of Existing Conditions
Not to Scale

Photo of Existing Conditions

Not to Scale

Photo of Existing Conditions

Not to Scale

Existing deteriorated

typical

Patch and repair

concrete base

sculptured mortar

sculptured mortar cap Replace missing brick Photo of Existing Conditions
Not to Scale

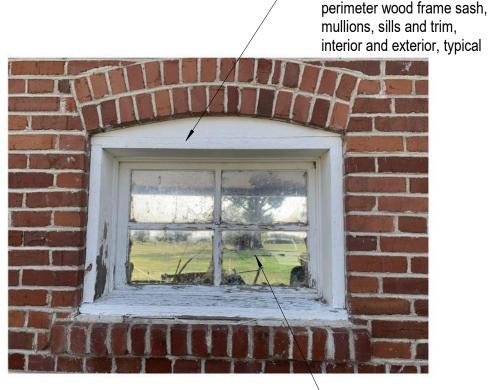
Existing deteriorated

Edge of grass lawn and gravel drive, protect materials throughout the duration of construction

Repair cracked bricks and repoint joints above stairwell door inside and outside see structural drawings



Photo of Existing Conditions (Carriage House)



Remove, repair and reinstall the 4x wood threshold to be level and functional with the garage

Clean all glazing lites interior and exterior

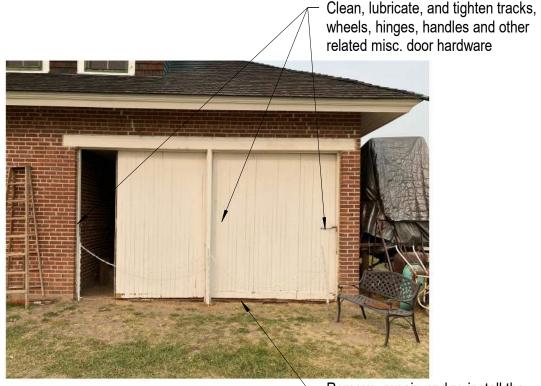
Clean, repair, prep and paint

Photo of Existing Conditions (Carriage House)

Photo of Existing Conditions (Carriage House)



Remove 4" of dirt/soil within entire garage area. Corrdinate with grounds keeper for placement of dirt/soil. Install filter fabric and 4" angular gravel throughout garage area



- Remove, repair, and re-install the

4x wood threshold to be level and functional with the garage doors



threshold to be level and functional with the garage

Remove, repair and

reinstall the 4x wood

Photo of Existing Conditions (Carriage House)

Photo of Existing Conditions (Carriage House)

Photo of Existing Conditions (Carriage House)



Clean, repair, prep and paint perimeter wood frame sash, mullions, sills and trim, interior and exterior, typical

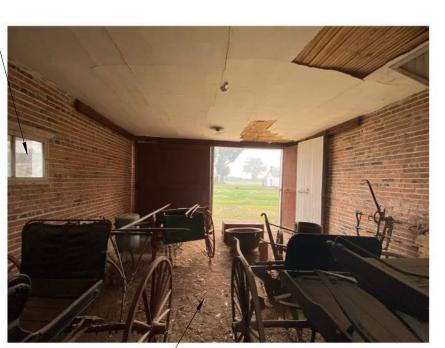
Remove 4" of dirt/soil within entire garage area. Corrdinate with grounds keeper for placement of dirt/soil. Install filter fabric and 4" angular gravel throughout garage area

Photo of Existing Conditions (Carriage House)

Clean, repair, prep and paint perimeter wood frame sash, mullions, sills and trim, interior and exterior, typical



Clean all glazing lites interior and exterior Photo of Existing Conditions (Carriage House)



Remove 4" of dirt/soil within entire garage area. Corrdinate with grounds keeper for placement of dirt/soil. Install filter fabric and 4" angular gravel throughout garage area

Photo of Existing Conditions (Carriage House)

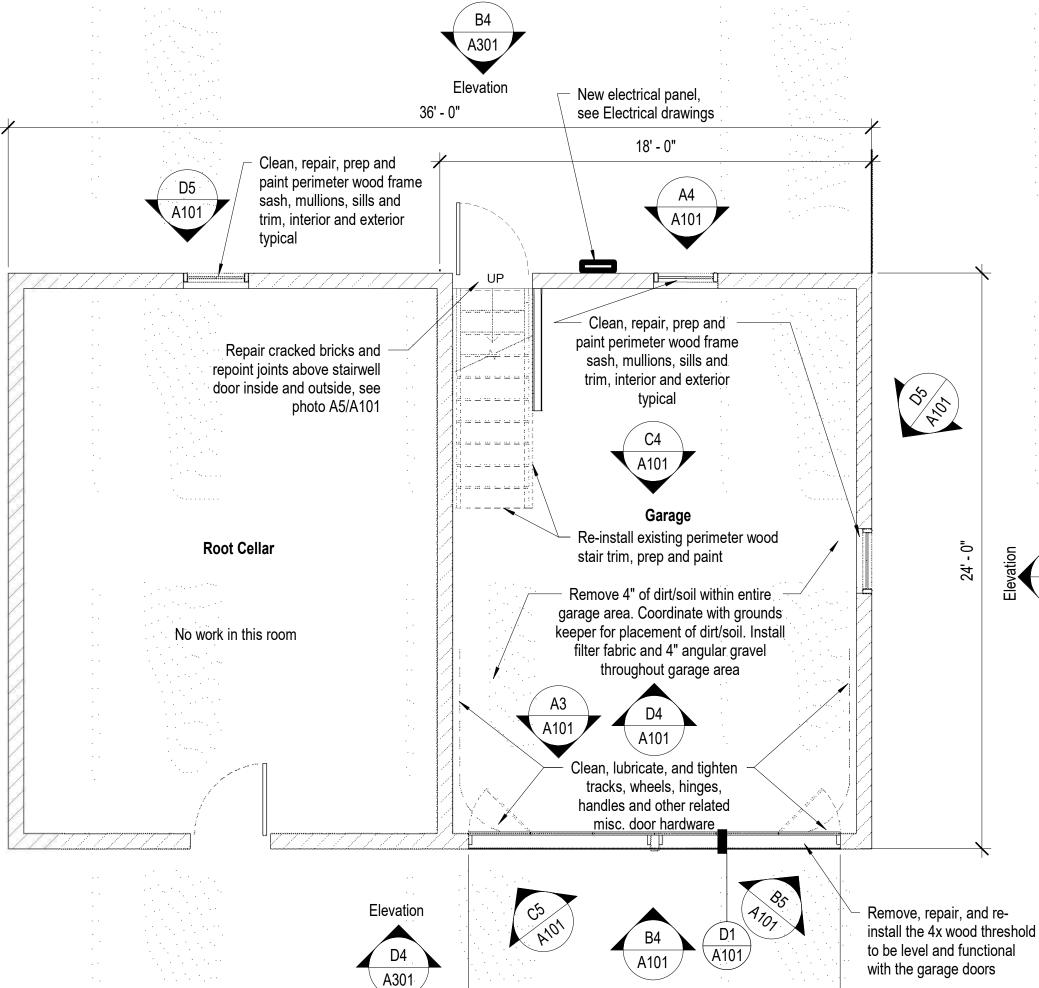


Clean prep, and paint wood stair enclosure

Photo of Existing Conditions (Carriage House)

Carriage House Floor Plan

D3 A302



#### Carriage House Notes

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project

Ranch

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**Projects** 

Restoration

Description

Dangberg Home Ranch 1450 NV-88 Minden, Nevada 89423

MLM

PAC

21018

2/10/2022

**Architect LLC** 

1575 Delucchi Lane, Suite 120

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- Refer to Project Manual and Specifications for additional information and requirements.
- 9. See Structural drawings and specifications for additional information and requirements.
- 10. See Electrical drawings and specifications for additional information and requirements.
- 11. The following preservation briefs shall be used and followed for the execution of work at the Carriage House:

#### 1. Cleaning and Water Repellant Treatments:

Carefully follow recommended procedures in this brief in washing the Carriage House from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.

#### 2. Repointing Mortar Joints:

B3

**Threshold Detail** 

The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.

#### 9. The Repair of Historic Wooden Windows:

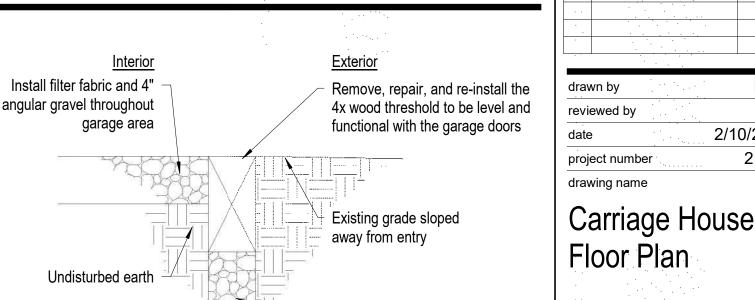
The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damage glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.

- 21. Repairing Historic Flat Plaster Walls and Ceilings: The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a twocoat process to patch and hide plaster repairs.
- 28. Painting Historic Interiors: The contractor to use this brief as a guideline in preparing the interiors for repainting and new painting. With historic finishes, use hand procedures in
- 12. See sheet A301 and A302 for the Carriage House exterior elevations.

removing flaking surfaces compatible for receiving new paint.

- 13. See sheet A501 for the Carriage House reflected ceiling plan.
- 14. Dangberg Curator to remove over grown vegetation and other items adjacent to

See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of



6" Compacted base



Photo of Existing Conditions (Garage)



Photo of Existing Conditions (Garage)



Clean, repair, prep and paint

Photo of Existing Conditions (Garage)



Photo of Existing Conditions

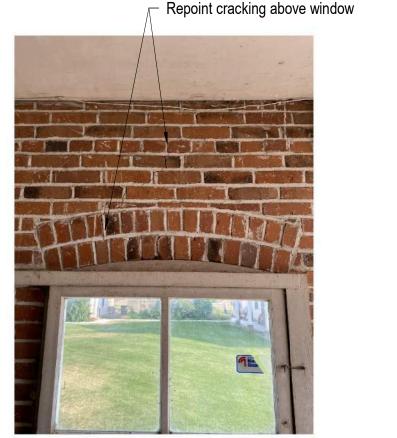


Photo of Existing Conditions (Garage)



Photo of Existing Conditions (Garage)

mullions, sills and trim interior and exterior, typical



tighten tracks, wheels, hinges, handles and other related misc. door hardware

Clean, lubricate, and

D3

A304



Photo of Existing Conditions (Garage)



Photo of Existing Conditions (Garage)



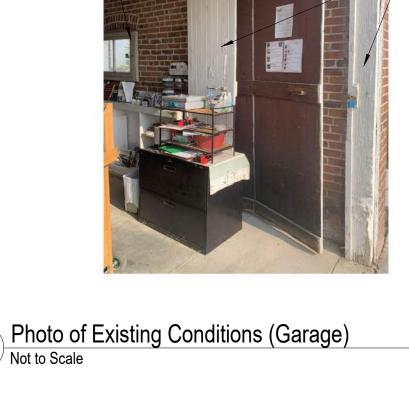
Photo of Existing Conditions (Garage)



Photo of Existing Conditions (Garage)



Photo of Existing Conditions (Garage)



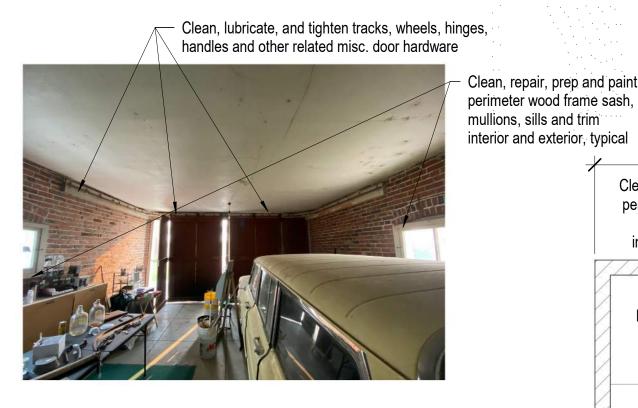


Photo of Existing Conditions (Garage) C3

Clean, repair, prep and paint



A102 Repoint cracking above and below window, see photo's C5/A102 and D5/A102 A5 A102 A102 Clean, repair, prep and paint Repoint cracking above perimeter wood window, see photo frame sash, B5/A102 mullions, sills and trim, interior and exterior typical D3 A102 Clean, lubricate, and tighten tracks, wheels, hinges, handles and other related misc. door hardware 7' - 7" 7' - 7" Elevation

D2 Garage Floor Plan

A303

Elevation

18' - 0"

Clean, repair, prep and paint New electrical penel, perimeter wood frame sash, see Electrical drawings mullions, sills and trim, interior and exterior typical Remove extra bricks from flu (possible reuse for chimney \_C3\_ A304 Clean, repair, prep and paint perimeter wood frame sash, mullions, sills and trim, interior and exterior typical Existing control joints

**Paul Cavin Architect LLC** Coordinate construction operations, schedule and sequencing with Douglas County

Garage Notes

Community Services Project Manager and Dangberg Ranch Curator. User will

The Contractor shall be responsible for setting the exact limits of demolition

The Contractor shall maintain a clean environment during all construction

from construction traffic, cutting and all construction activities.

standards and procedures for all work related to this project.

operations and shall conduct a final cleaning of entire area of work at the

The Contractor shall protect existing vegetation, finishes and historical features

The Contractor will be responsible for repairing any damage to the existing vegetation, finishes and due to construction activities related to the restoration

Contractor shall limit work access to areas indicated during approved working hours and shall remove materials, tools and debris after construction hours.

The General Contractor, General Contractor's project manager, and General Contractor's superintendent shall be familiar with and follow the guidelines and

Refer to Project Manual and Specifications for additional information and

See Structural drawings and specifications for additional information and

11. The following preservation briefs shall be used and followed for the execution of

Carefully follow recommended procedures in this brief in washing the Garage from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures.

The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to <u>Preservation Brief #6</u> for the <u>Dangers of</u>

The contractor should know and carefully follow and comply with this brief in

analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the

compressive strength of the existing mortar repoint repairs in joints to match

The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating

properly and repair as necessary for operation of windows, including removal of

techniques. Replace damage glazing panes to consistent with adjacent units.

Make similar repairs to existing perimeter wood window frames, weather strip

and seal with exterior grade sealant. Prep wood window components for prime

The contractor to use this brief in repairing for plaster repairs and replacement

over wooden lath and framing. Where appropriate use veneer plaster as a two-

The contractor to use this brief as a guideline in preparing the interiors for repainting and new painting. With historic finishes, use hand procedures in

14. Dangberg Curator to remove over grown vegetation and other items adjacent to

15. See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of

removing flaking surfaces compatible for receiving new paint.

12. See sheet A303 and A304 for the Garage exterior elevations.

13. See sheet A502 for the Garage reflected ceiling plan.

sash and replacing damaged wood components using traditional splicing

10. See Electrical drawings and specifications for additional information and

procedures set forth in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings. This document will be used for setting the

occupy the site during construction operations.

required in order to perform the work.

conclusion of the project.

requirements.

requirements.

requirements.

work at the Garage:

abrasive cleaning.

current tooling.

and paint.

the building.

28. Painting Historic Interiors:

2. Repointing Mortar Joints:

1. Cleaning and Water Repellant Treatments:

9. The Repair of Historic Wooden Windows:

21. Repairing Historic Flat Plaster Walls and Ceilings:

coat process to patch and hide plaster repairs.

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consultant

project

Ranch **Projects** Home angberg

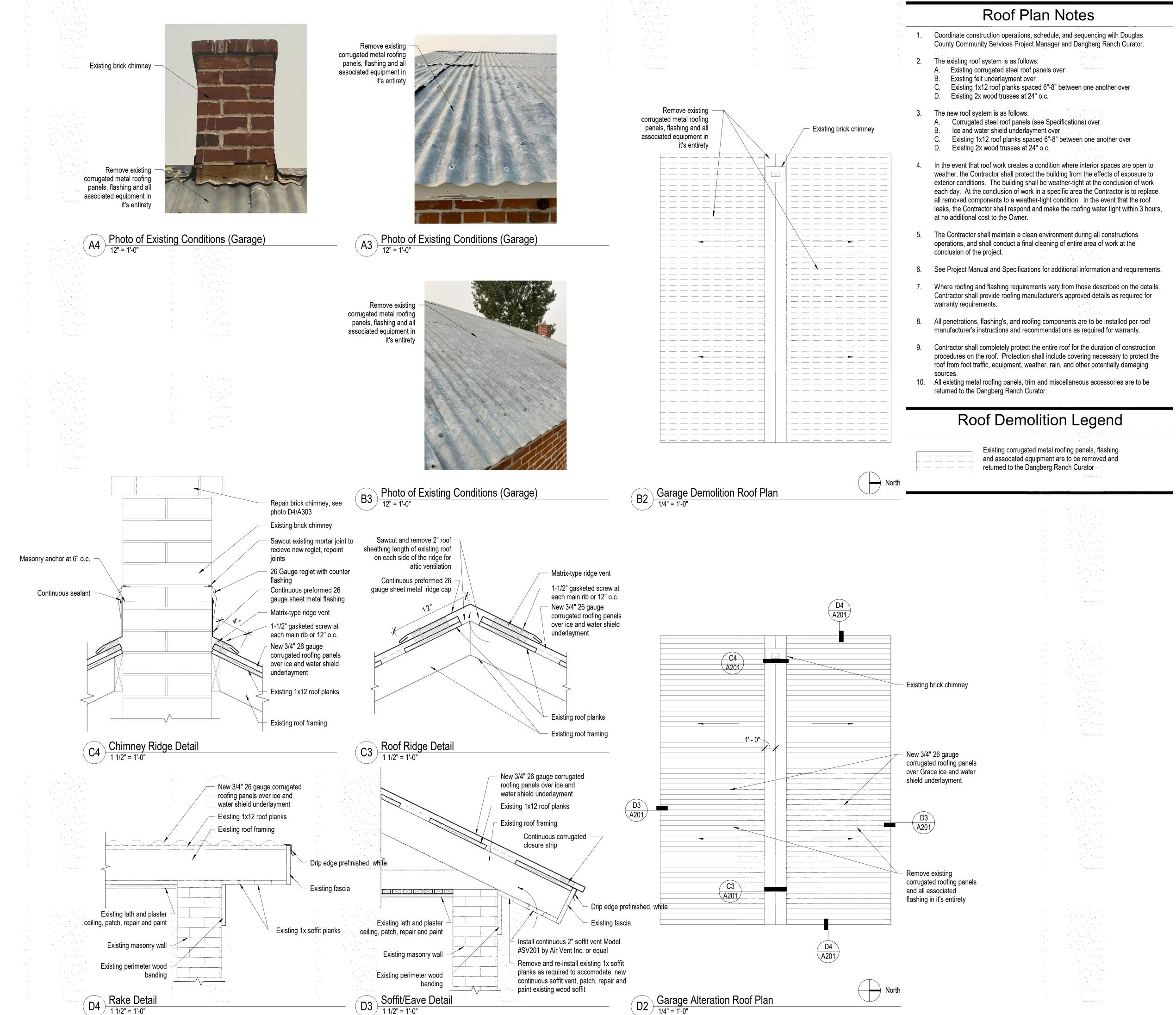
Dangberg Home Ranch 1450 NV-88 Minden, Nevada 89423 Restoration revisions /

MLM drawn by

Description

PAC reviewed by 2/10/2022 21018 project number drawing name

Garage Floor Plan



## Paul Cavin Architect LLC

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2/3/2022

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OF NEW A

consultant

project

Dangberg Home Ranch
Restoration Projects
Dangberg Home Ranch
1450 NV-88
Minden, Nevada 89423

revisions Date

No. Description Date

drawn by MLM reviewed by PAC date 2/10/2022 project number 21018

drawing name

Garage Roof Plai

sheet number

A201



Patch and repair concrete base (SikaQuick VOH or equal)

A5 Photo of Existing Conditions
Not to Scale

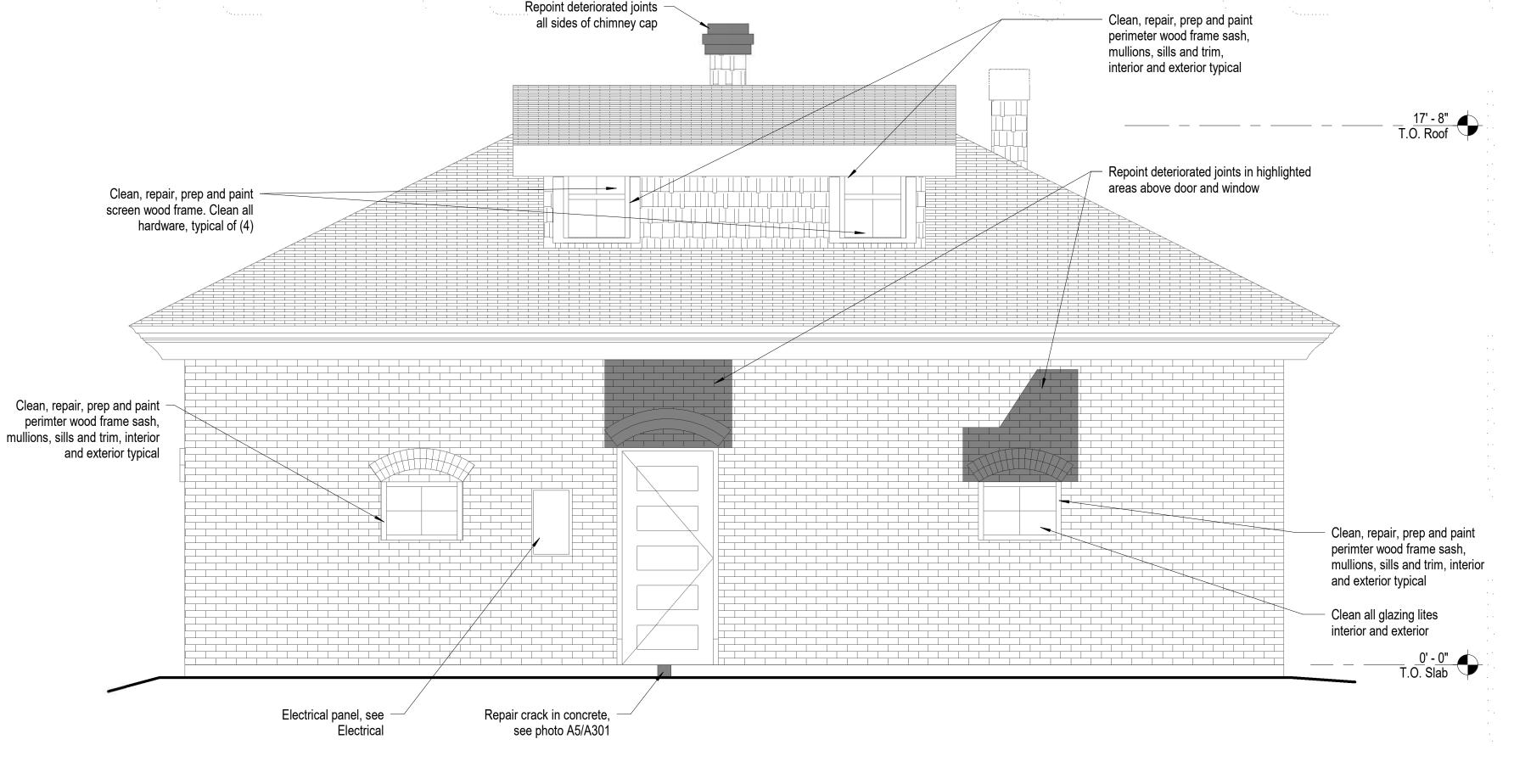
Photo of Existing Conditions

Clean, repair, prep and paint screen wood frame. clean all hardware, typical

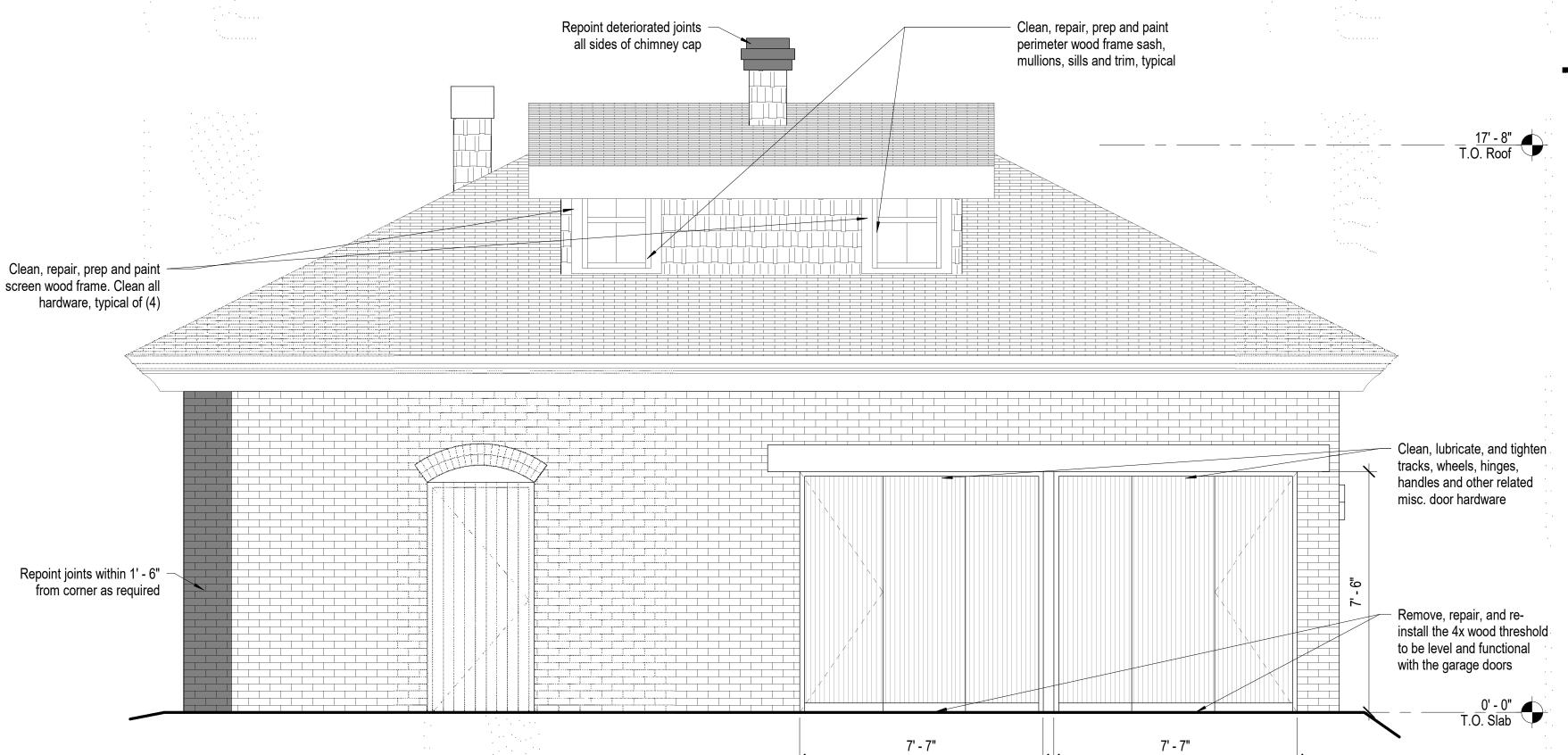
 Clean, repair, prep and paint perimeter wood frame sash, mullions, sills and trim, interior and exterior typical



Clean all glazing lites interior and exterior



B4 Carriage House - West Elevation



## Carraige House Exterior Elevation Notes

- Refer to Project Manual and Specifications for additional information and requirements.
- See sheet A101 for Dimensioned Floor Plan for plan dimensions related to exterior
- 3. All dimensions are approximate, Contractor to field verify all necessary dimensions.
- 4. See Structural drawings and specifications for additional information and requirements.
- 5. See Electrical drawings and specifications for additional information and
- 6. The following preservation briefs shall be used and followed for the execution of work at the Carriage House:

#### 1. Cleaning and Water Repellant Treatments:

Carefully follow recommended procedures in this brief in washing the Carriage House from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to <a href="Preservation Brief #6">Preservation Brief #6</a> for the <a href="Dangers of abrasive cleaning.">Dangers of abrasive cleaning.</a>

#### 2. Repointing Mortar Joints:

The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.

#### 9. The Repair of Historic Wooden Windows:

The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damage glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.

# 21. Repairing Historic Flat Plaster Walls and Ceilings: The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a two-coat process to patch and hide plaster repairs.

#### 28. Painting Historic Interiors:

The contractor to use this brief as a guideline in preparing the interiors for repainting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

- 7. The Dangberg Ranch Curator will remove all vine growth at each building prior to construction.
- The General Contractor, General Contractor's project manager and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
- 9. See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of damaged wood.

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consultant

project

anch

Home

Dangberg

revisions /

Restoration Projects
Dangberg Home Ranch
1450 NV-88
Minden, Nevada 89423

drawn by	Author
•	

Description

reviewed by PAC
date 2/10/2022
project number 21018
drawing name

Exterior Elevations
- Carriage House

sheet number

A301



Photo of Existing Conditions

Not to Scale

D4 Carriage House - East Elevation



Photo of Existing Conditions



Photo of Existing Conditions



Photo of Existing Conditions

Repoint deteriorating joints all sides of chimney cap

Photo of Existing Conditions

Repoint deteriorated

joints entire wall

Patch and repair concrete base (SikaQuick VOH or

equal)

Patch and repair concrete base (SikaQuick VOH or equal)

Patch and repair

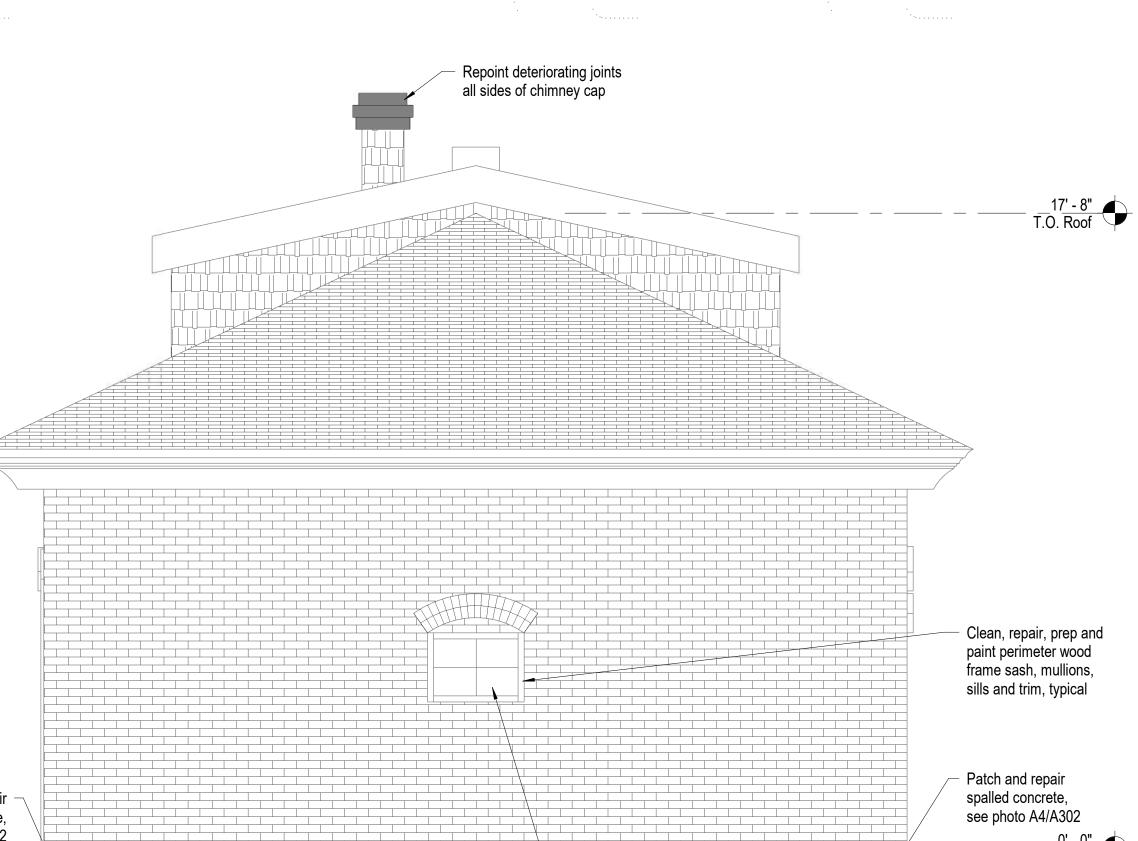
(SikaQuick VOH or

concrete base

equal)

Patch and repair spalled concrete, see photo A5/A302

Carriage House - North Elevation



Clean all glazing

lites, typical

# Repoint deteriorating joints all sides of chimney cap Repoint deteriorated joints entire wall Patch and repair spalled concrete

#### Carraige House Exterior Elevation Notes

- Refer to Project Manual and Specifications for additional information and
- 2. See sheet A101 for Dimensioned Floor Plan for plan dimensions related to exterior
- 3. All dimensions are approximate, Contractor to field verify all necessary dimensions.
- 4. See Structural drawings and specifications for additional information and
- See Electrical drawings and specifications for additional information and
- The following preservation briefs shall be used and followed for the execution of work at the Carriage House:

1. Cleaning and Water Repellant Treatments: Carefully follow recommended procedures in this brief in washing the Carriage House from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.

2. Repointing Mortar Joints:

The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.

9. The Repair of Historic Wooden Windows:

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21. Repairing Historic Flat Plaster Walls and Ceilings:

The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a twocoat process to patch and hide plaster repairs.

28. Painting Historic Interiors:

The contractor to use this brief as a guideline in preparing the interiors for repainting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

- 7. The Dangberg Ranch Curator will remove all vine growth at each building prior to construction.
- The General Contractor, General Contractor's project manager and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
- See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of

#### **Paul Cavin Architect LLC**

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consultant

project

anch Restoration Projects ~ Dangberg Home Ranch 1450 NV-88 Minden, Nevada 89423 Home Dangberg

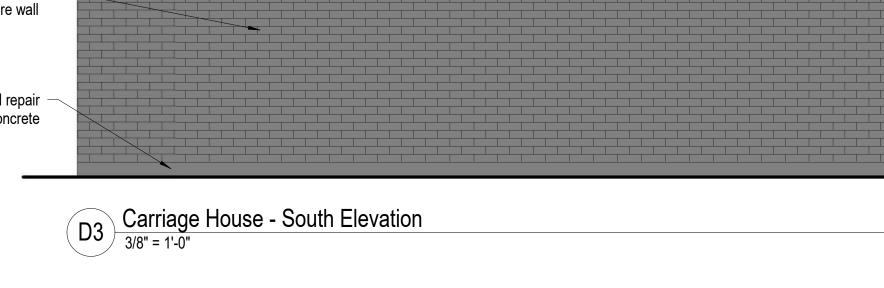
Author Checker reviewed by

Description

revisions /

2/10/2022 21018 project number drawing name **Exterior Elevations** 

- Carriage House



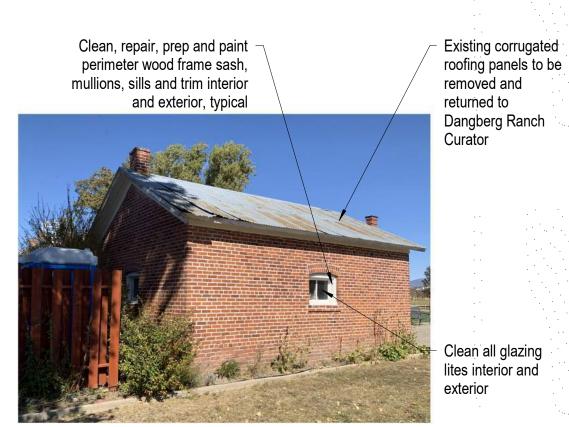


Photo of Existing Conditions

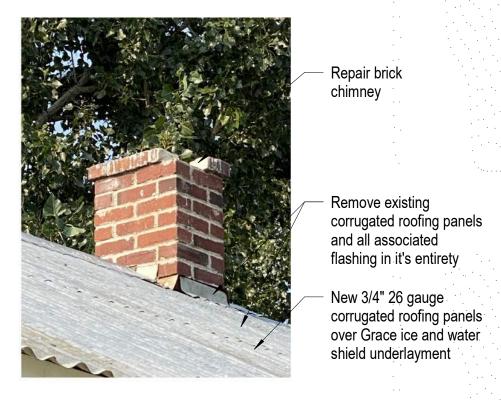
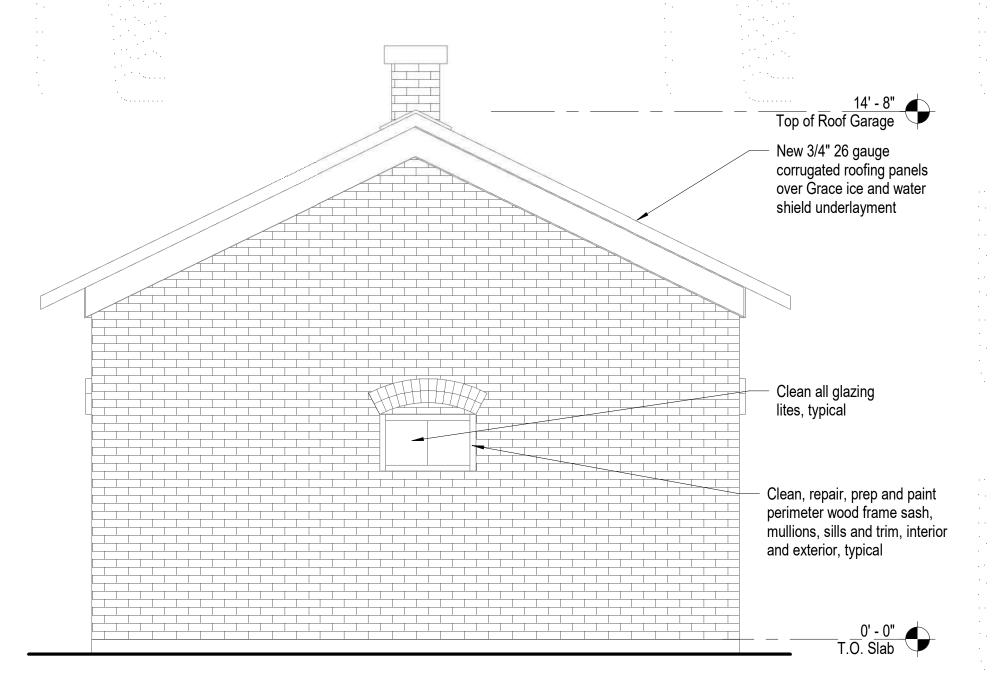


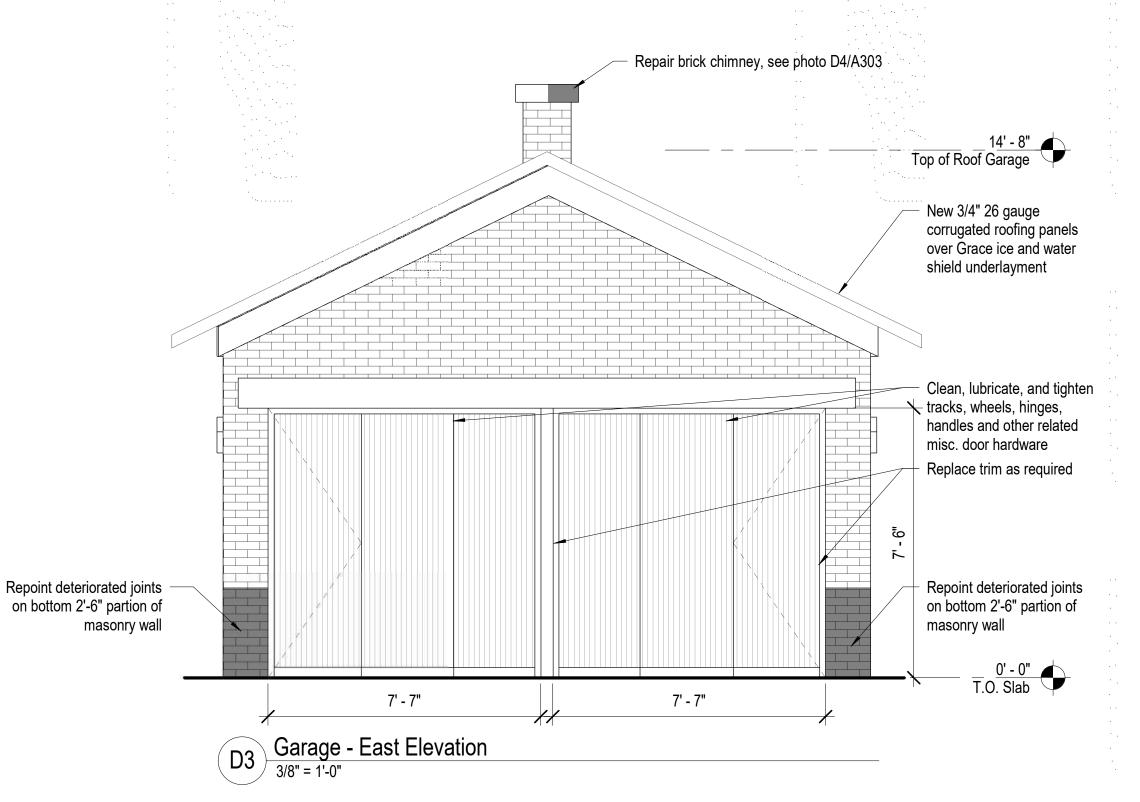
Photo of Existing Conditions



Photo of Existing Conditions



Garage - West Elevation



#### Garage Exterior Elevation Notes

- Refer to Project Manual and Specifications for additional information and
- 2. See sheet A102 for Dimensioned Floor Plan for plan dimensions related to exterior
- 3. All dimensions are approximate, Contractor to field verify all necessary dimensions.
- 4. See Structural drawings and specifications for additional information and
- 5. See Electrical drawings and specifications for additional information and
- 6. The following preservation briefs shall be used and followed for the execution of work at the Garage:

1. Cleaning and Water Repellant Treatments: Carefully follow recommended procedures in this brief in washing the Carriage House from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to <u>Preservation Brief #6</u> for the <u>Dangers of</u> abrasive cleaning.

#### 2. Repointing Mortar Joints:

The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.

#### 9. The Repair of Historic Wooden Windows:

The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damage glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.

#### 21. Repairing Historic Flat Plaster Walls and Ceilings:

The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a twocoat process to patch and hide plaster repairs.

#### 28. Painting Historic Interiors:

The contractor to use this brief as a guideline in preparing the interiors for repainting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

- The Dangberg Ranch Curator will remove all vine growth at each building prior to
- 8. The General Contractor, General Contractor's project manager and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
- See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of

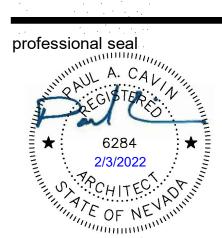
#### **Paul Cavin Architect LLC**

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consultant

project

Ranch

**Projects** Dangberg Home Ranch 1450 NV-88 Minden, Nevada 89423 Home Restoration Dangberg

RBR reviewed by

Description

revisions /

21018 project number drawing name **Exterior Elevations** 

2/10/2022

#### New 3/4" 26 gauge Repair, prep and paint corrugated roofing panels perimeter wood frame over Grace ice and water sash, mullions, sills and shield underlayment trim, typical Top of Roof Garage Clean all glazing lites Clean, repair, prep and paint interior and exterior perimeter wood framne sash, mullions, sills and trim Repoint deteriorated joints at Repoint deteriorated joints Clean all glazing in bottom 2'-6" of wall lites interior and head and sill exterior Photo of Existing Conditions Garage - North Elevation

#### New 3/4" 26 gauge Repair brick, see picture D1/A304 corrugated roofing panels over Grace ice and water shield underlayment Clean all glazing Clean, repair, prep and paint lites interior and perimeter wood framne sash, mullions, sills and trim exterior Repair, prep and paint perimeter wood frame sash, mullions, sills and trim, interior and exterior, typical Clean all glazing ─ Fill mortar in head joint Existing electrical to lites interior and Photo of Existing Conditions Not to Scale

3/8" = 1'-0"

#### Garage Exterior Elevation Notes

Refer to Project Manual and Specifications for additional information and requirements.

- 2. See sheet A102 for Dimensioned Floor Plan for plan dimensions related to exterior
- All dimensions are approximate, Contractor to field verify all necessary dimensions.
- 4. See Structural drawings and specifications for additional information and requirements.
- 5. See Electrical drawings and specifications for additional information and requirements.
- The following preservation briefs shall be used and followed for the execution of work at the Garage:

#### 1 Cleaning and Water Repellant Treatments:

Carefully follow recommended procedures in this brief in washing the Carriage House from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to <u>Preservation Brief #6</u> for the <u>Dangers of</u>

#### abrasive cleaning.

2. Repointing Mortar Joints: The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.

#### 9. The Repair of Historic Wooden Windows:

The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damage glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.

#### 21. Repairing Historic Flat Plaster Walls and Ceilings:

The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a twocoat process to patch and hide plaster repairs.

#### 28. Painting Historic Interiors:

The contractor to use this brief as a guideline in preparing the interiors for repainting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

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- The General Contractor, General Contractor's project manager and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
- See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of damaged wood.

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project

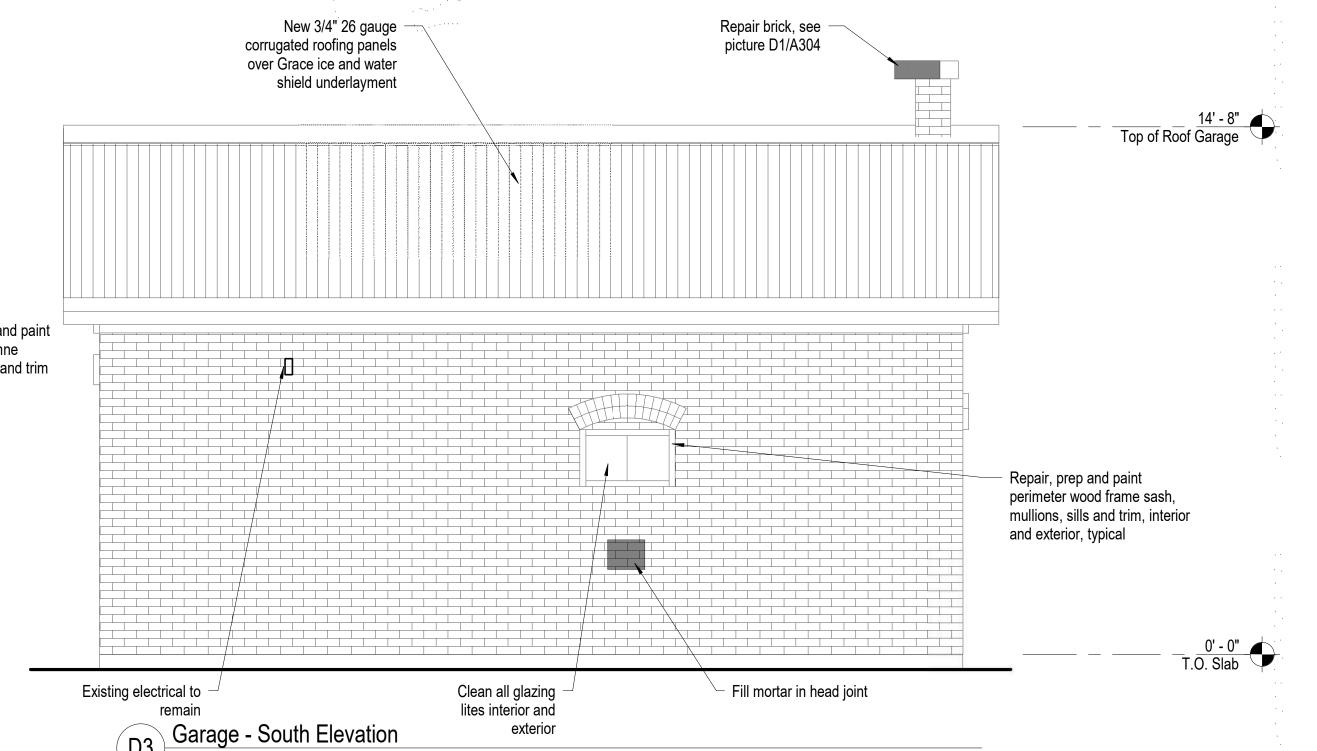
Ranch Home Ran on Projects Dangberg Home Ranch 1450 NV-88 Minden, Nevada 89423 Dangberg Horn Restoration I

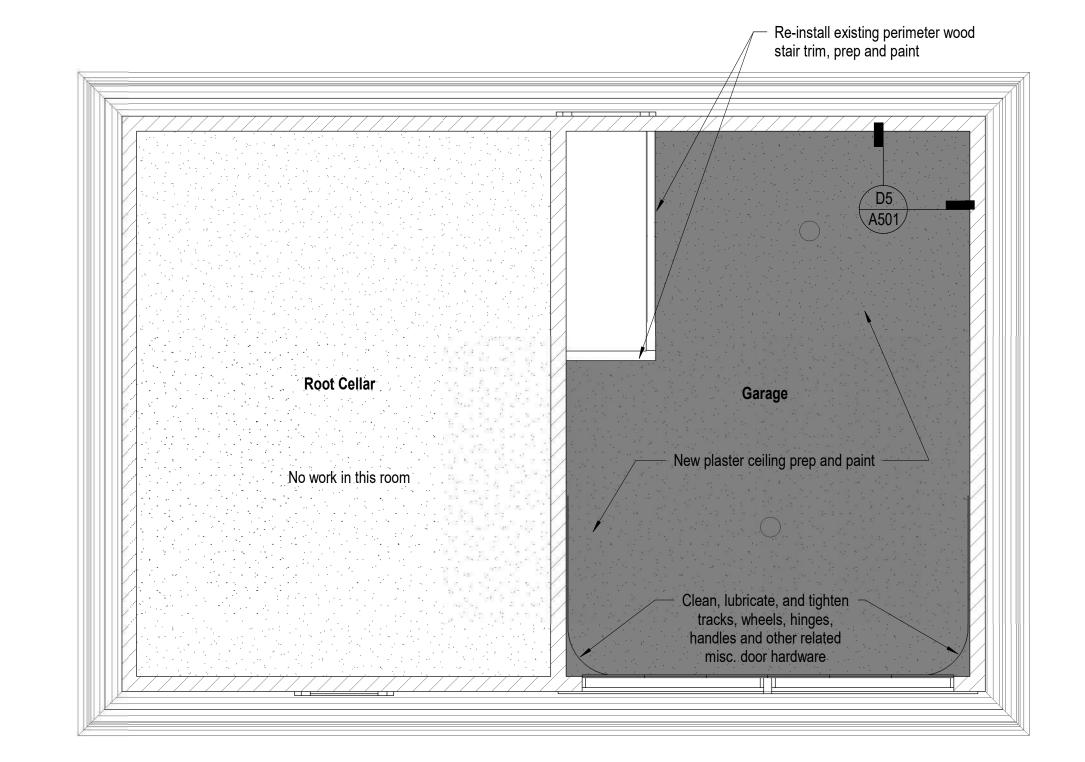
Description MLM

revisions \_\_\_\_

PAC reviewed by 2/10/2022 21018 project number drawing name

**Exterior Elevations** - Garage







Remove existing

plaster in it's entirety,

Remove existing

inspect, reattach

plaster in it's entirety,

and/or replace wood

lath where necessary

Photo of Existing Conditions

Carriage House - Alteration Reflected Ceiling Plan



Photo of Existing Conditions Not to Scale

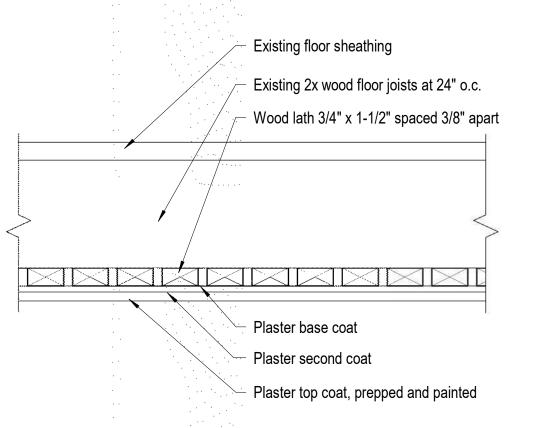
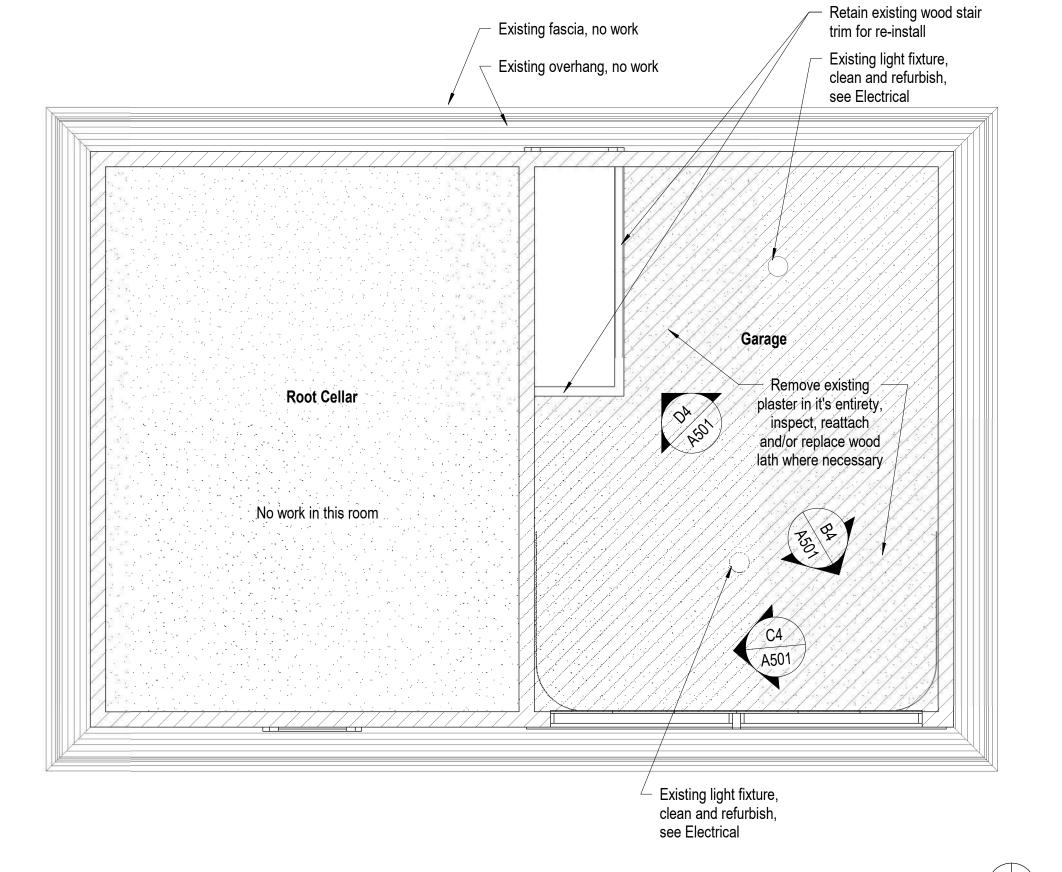






Photo of Existing Conditions



Carriage House - Demolition Reflected Ceiling Plan

#### Carriage House Notes

- Coordinate construction operations, schedule and sequencing with Douglas County Community Services Project Manager and Dangberg Ranch Curator. User will occupy the site during construction operations.
- 2. The Contractor shall be responsible for setting the exact limits of demolition required in order to perform the work.
- 3. The Contractor shall maintain a clean environment during all construction operations and shall conduct a final cleaning of entire area of work at the conclusion of the project.
- 4. The Contractor shall protect existing vegetation, finishes and historical features from construction traffic, cutting and all construction activities.
- 5. The Contractor will be responsible for repairing any damage to the existing vegetation, finishes and due to construction activities related to the restoration
- Contractor shall limit work access to areas indicated during approved working hours and shall remove materials, tools and debris after construction hours.
- 7. The General Contractor, General Contractor's project manager, and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
- Refer to Project Manual and Specifications for additional information and requirements.
- 9. See Structural drawings and specifications for additional information and requirements.
- 10. See Electrical drawings and specifications for additional information and requirements.
- 11. The following preservation briefs shall be used and followed for the execution of work at the Carriage House:

#### 1. Cleaning and Water Repellant Treatments:

Carefully follow recommended procedures in this brief in washing the Carriage House from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.

#### 2. Repointing Mortar Joints:

The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.

#### 9. The Repair of Historic Wooden Windows:

The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damage glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.

21. Repairing Historic Flat Plaster Walls and Ceilings: The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a twocoat process to patch and hide plaster repairs.

#### 28. Painting Historic Interiors:

The contractor to use this brief as a guideline in preparing the interiors for repainting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

- 12. See sheet A301 and A302 for the Carriage House exterior elevations.
- 13. See sheet A501 for the Carriage House reflected ceiling plan.
- 14. Dangberg Curator to remove over grown vegetation and other items adjacent to the building.
- 15. See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of

#### Reflected Ceiling Plan Legend



Existing plaster ceiling to be removed



New plaster ceiling system painted

**Paul Cavin Architect LLC** 

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consultant

project

Ranch **Projects** Dangberg Home Ranch 1450 NV-88 Minden, Nevada 89423 Home Restoration Dangberg

revisions / Description

MLM drawn by PAC reviewed by 2/10/2022

21018 project number drawing name Carriage House Reflected Ceiling

sheet number

Plans



Photo of Existing Conditions

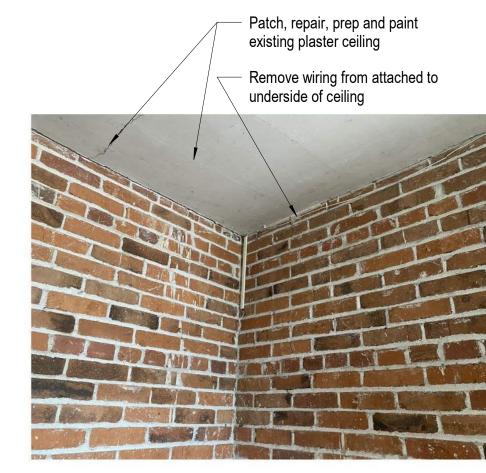


Photo of Existing Conditions

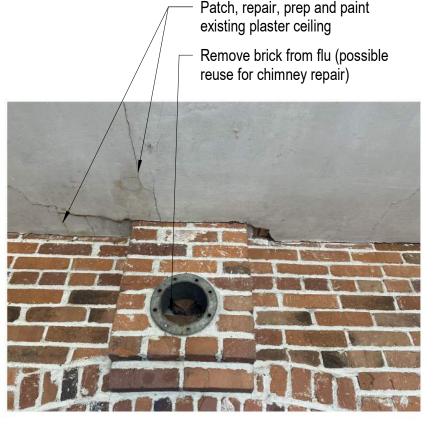
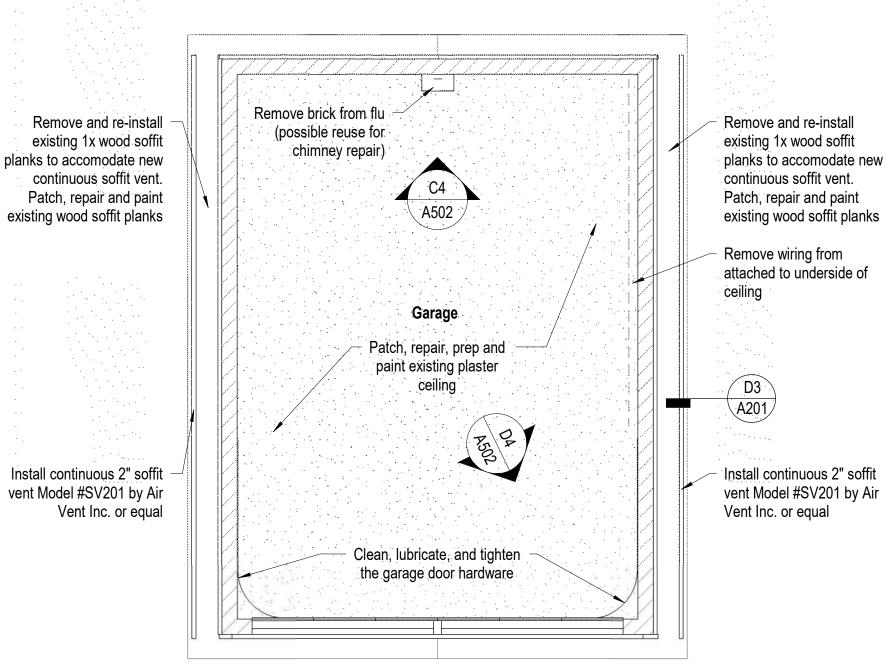


Photo of Existing Conditions



**Photo of Existing Conditions** 



Garage Reflected Ceiling Plan

Garage Notes

- Coordinate construction operations, schedule and sequencing with Douglas County Community Services Project Manager and Dangberg Ranch Curator. User will occupy the site during construction operations.
- 2. The Contractor shall be responsible for setting the exact limits of demolition required in order to perform the work.
- 3. The Contractor shall maintain a clean environment during all construction operations and shall conduct a final cleaning of entire area of work at the conclusion of the project.
- 4. The Contractor shall protect existing vegetation, finishes and historical features from construction traffic, cutting and all construction activities.
- 5. The Contractor will be responsible for repairing any damage to the existing vegetation, finishes and due to construction activities related to the restoration
- Contractor shall limit work access to areas indicated during approved working hours and shall remove materials, tools and debris after construction hours.
- 7. The General Contractor, General Contractor's project manager, and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
- Refer to Project Manual and Specifications for additional information and requirements.
- 9. See Structural drawings and specifications for additional information and
- 10. See Electrical drawings and specifications for additional information and
- 11. The following preservation briefs shall be used and followed for the execution of work at the Garage:

#### 1. Cleaning and Water Repellant Treatments:

Carefully follow recommended procedures in this brief in washing the Garage from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.

#### 2. Repointing Mortar Joints:

The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.

#### 9. The Repair of Historic Wooden Windows:

The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damage glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.

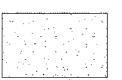
21. Repairing Historic Flat Plaster Walls and Ceilings: The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a twocoat process to patch and hide plaster repairs.

#### 28. Painting Historic Interiors:

The contractor to use this brief as a guideline in preparing the interiors for repainting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

- 12. See sheet A303 and A304 for the Garage exterior elevations.
- 13. See sheet A502 for the Garage reflected ceiling plan.
- 14. Dangberg Curator to remove over grown vegetation and other items adjacent to the building.
- 15. See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of

#### Reflected Ceiling Plan Legend



Patch, repair, prep and paint existing plaster ceiling

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project

Ranch **Projects** Dangberg Home Ranch 1450 NV-88 Minden, Nevada 89423 Home Restoration Dangberg

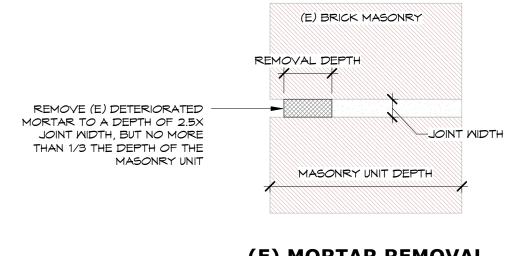
revisions \_\_\_\_ Description

MLM PAC reviewed by 2/10/2022 21018 project number

Garage Reflected Ceiling Plan

sheet number

drawing name



#### (E) MORTAR REMOVAL SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON REQUIRED MATERIALS, METHODS, ETC. (E) BRICK MASONRY INSTALL (N) MORTAR TO MATCH DEPTH OF ORIGINAL MORTER AND TOOL JOINT AS REQUIRED TO MATCH ADJACENT MORTAR JOINTS

#### **MORTAR REPLACEMENT**

(E) BRICK MASONRY

SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION

ON REQUIRED MATERIALS,

REMOVE LOOSE MATERIAL FROM CRACK AND WIDEN TO 1/8" MIN. WIDE IF

A PROVIE A CLEAN NEAT FINISHED

NECESSARY. TAPE AROUND CRACK TO

APPEARANCE. FILL CRACK SOLID WITH

COLOR MATCHED TO CLEAN BRICK. USE

"M70 STONE RESTORATION MORTAR" BY

JAHN RESTORATION PER MANUFACTURER'S RECOMMENDATIONS

CEMENTITIOUS PATCHING MATERIAL,

METHODS, ETC.

#### GENERAL

- A. THESE GENERAL NOTES APPLY TO ALL WORK SHOWN IN THE STRUCTURAL DRAWINGS. THE GENERAL CONTRACTOR AND ALL INVOLVED PARTIES SHALL BE DIRECTLY RESPONSIBLE FOR READING AND COMPLYING WITH ALL INFORMATION PROVIDED IN THE STRUCTURAL DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL GENERAL NOTES AND TYPICAL DETAILS SHOWN IN THE DRAWINGS, WHETHER OR NOT SPECIFIC FLAGGING OR REFERENCE HAS BEEN MADE TO THE APPLICABLE GENERAL NOTE OR TYPICAL DETAIL. PROJECT SPECIFIC NOTES AND DETAILS SHOWN ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- ALL WORK SHALL COMPLY WITH THE MINIMUM STANDARDS OF THE CURRENT ADOPTED BUILDING CODE, THE LATEST EDITION OF ASTM OR OTHER INDUSTRY STANDARDS REFERENCED, AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS AND REGULATIONS. FOR ITEMS, METHODS, AND/OR MATERIALS NOT SHOWN, ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE REGULATING AGENCIES THAT HAVE AUTHORITY OVER SUCH PORTIONS OF WORK.
- THE STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE MEANS OR METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKERS, AND OTHER PERSONS DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, PREPARATION AND EXECUTION OF A SAFETY PROGRAM AND DESIGN AND INSTALLATION OF BRACING, SHORING, FORMS AND SCAFFOLDING. THE CONTRACTOR SHALL RETAIN HIS OWN ENGINEER WHERE REQUIRED FOR MEANS AND METHODS AS WELL AS ANY OTHER DELEGATED DESIGN ITEMS.
- THE CONTRACTOR SHALL BE DIRECTLY RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, ELEVATIONS, GRADES AND CONDITIONS WITH EXISTING CONDITIONS IN THE FIELD AND WITH ARCHITECTURAL AND OTHER DRAWINGS (I.E. CIVIL, MECHANICAL, PLUMBING, ELECTRICAL, ETC.) PRIOR TO CONSTRUCTION. THE ARCHITECT AND ENGINEER (A/E) SHALL BE NOTIFIED OF ANY DISCREPANCIES, OMISSIONS OR INCONSISTENCIES SO REVISIONS OR CLARIFICATIONS CAN BE MADE WHERE NECESSARY.
- IN THE EVENT EXISTING CONDITIONS ARE FOUND TO BE DIFFERENT FROM THOSE SHOWN IN THE DRAWINGS, THE A/E SHALL BE NOTIFIED SO REVISIONS OR CLARIFICATIONS CAN BE MADE WHERE NECESSARY.
- G. NO CHANGES OR DEVIATIONS FROM THE PLANS AND SPECIFICATIONS WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE A/E. ANY DESIRED CHANGES OR DEVIATIONS SHALL BE PRESENTED TO THE A/E FOR REVIEW WITH NO GUARANTEE THAT THE SUBSTUTION WILL BE ALLOWED.
- H. DO NOT SCALE THE DRAWINGS. DRAWINGS ARE DIAGRAMMATIC AND MAY NOT SCALE ACCURATELY.

#### SHOP DRAWINGS / SUBMITTALS

TYP. CONCRETE CRACK REPAIR NOTES

ADDITIONAL INFORMATION ON REQUIRED MATERIALS, METHODS, ETC.

MECHANICAL MEANS.

DESIGN PRODUCTS.

. IDENTIFY SLAB CRACKS OR JOINTS TO BE REPAIRED AND VEE-NOTCH TOP OF CRACK BY APPROVED

2. REMOVE DUST AND DEBRIS FROM CRACK BY BRUSHING AND BLOWING WITH CLEAN COMPRESSED AIR.

3. AT CRACKS IN HORIZONTAL SURFACES, GRAVITY FEED OR USE EPOXY INJECTION TECHNIQUES TO FILL CRACK FULL DEPTH PER MANUFACTURER'S RECOMMENDATIONS. AT CRACKS IN VERTICAL SURFACES, USE EPOXY INJECTION

TECHNICQUES TO FILL CRACKS FULL DEPTH PER MANUFACTURER'S RECOMMENDATIONS. SEE SPECIFICATIONS FOR

4. COMPLY WITH ALL MANUFACTURER RECOMMENDATIONS AND REQUIREMENTS. REPAIR PRODUCTS LISTED ARE

BASIS-OF-DESIGN PRODUCTS. CONTRACTOR MAY SUBMIT ALTERNATE PRODUCTS TO THE EOR FOR REVIEW AND

(E) CONCRETE

APPROVAL. PROPOSED ALTERNATE MATERIALS SHALL MEET OR EXCEED THE PROPERTIES OF THE BASIS-OF-

A. THE FOLLOWING SHALL BE SUBMITTED TO THE A/E FOR REVIEW AND APPROVAL: CONCRETE REPAIR MATERIALS AND MATERIAL CUTSHEETS MASONRY MORTARS, REPAIR MATERIALS, AND MATERIAL CUTSHEETS.

CLEARLY NOTED, MARKED AND CLOUDED ACCORDINGLY FOR THE A/E.

- WHERE SHOP DRAWINGS / SUBMITTALS ARE REQUIRED THEY ARE TO BE PROVIDED TO THE A/E FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR PLACEMENT. SUBMITTALS SHALL BE COMPLETE AND COORDINATED BY THE CONTRACTOR AND REPRODUCTIONS OF THE CONTRACT DRAWINGS WILL NOT BE ACCEPTABLE.
- PRIOR TO SUBMISSION TO THE A/E, THE CONTRACTOR SHALL REVIEW ALL SUBMITTALS FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS AND SUBMITTALS SHALL BE STAMPED/SIGNED BY THE CONTRACTOR AS HAVING BEEN REVIEWED FOR CONFORMANCE.
- SHOP DRAWING SUBMITTALS PROCESSED BY THE A/E SHALL NOT BE CONSTRUED AS CHANGE ORDERS. ANY DETAIL ON THE SHOP DRAWINGS THAT DEVIATES FROM THE CONTRACT DOCUMENTS SHALL BE

STANDARD AB	BREVIATIONS	JG	STEEL JOIST GIRDER
AB	ANCHOR BOLT	JT	TAIOL
A/E	ARCHITECT / ENGINEER	K	KING STUD, KIPS
AFF	ABOVE FIN FLR	KSI	KIPS PER SQUARE INCH
AGG	AGGREGATE	KSF	KIPS PER SQUARE FOOT
ALT	ALTERNATE	L	ANGLE
ALUM	ALUMINUM	LBS	POUNDS
APPROX	APPROXIMATELY	LLY	LONG LEG VERTICAL
ARCH	ARCHITECT	LLH	LONG LEG HORIZONTAL
BFF	BELOW FIN FLR	LT MT	LIGHT WEIGHT
BLDG	BUILDING	MAX	MAXIMUM
BLKG	BLOCKING	MB	MACHINE BOLT
BM	BEAM	MECH	MECHANICAL
BN	<del></del>		
	BOUNDARY NAIL	MFR	MANUFACTURER
BO	BOTTOM OF	MISC	MISCELLANEOUS
BOT	BOTTOM	MIN	MINIMUM
B/S	BOTH SIDES	MTL	METAL
CIP	CAST IN PLACE	(N)	NEM
CJ	CONTROL JOINT	NA	NOT APPLICABLE
CJP	COMPLETE JOINT	NS	NEAR SIDE
	PENETRATION	NSA	NELSON STUD ANCHOR
CL	CENTERLINE	NTS	NOT TO SCALE
CLG	CEILING	00	ON CENTER
CLR	CLEAR	OD	OUTSIDE DIAMETER
CMU	CONC MASONRY UNIT	OH	OPPOSITE HAND
COL	COLUMN	LNO	OPEN WEB STEEL JOIST
CONC	CONCRETE	PERP	PERPENDICULAR
CONN	CONNECTION	PL	PLATE
CONST	CONSTRUCTION	PLF	POUNDS PER FOOT
CONT	CONTINUOUS	PLY	PLYMOOD
CTSK	COUNTERSUNK	PSI	POUNDS PER SQUARE INCH
CY	CUBIC YARDS	PSF	POUNDS PER SQUARE FOOT
DBL	DOUBLE	PT	PRESSURE TREATED,
DF		ГІ	POST TENSIONED
	DOUGLAS FIR	PENE	
DIA	DIAMETER	REINF	REINFORCING
DJ	DOMELED JOINT	REQD	REQUIRED
DMG	DRAWING	SCH	SCHEDULE
EA	EACH	SHTG	SHEATHING
EF (E/F)	EACH FACE	SIM	SIMILAR
ELEV	ELEVATION	50 <i>G</i>	SLAB ON GRADE
ELEC	ELECTRICAL	55	STAINLESS STEEL
EN	EDGE NAIL	STAGG	STAGGERED
EOR	ENGINEER OF RECORD	STD	STANDARD
ES	EACH SIDE	STIFF	STIFFENER
EM (E/M)	EACH MAY	STL	STEEL
(E)	EXISTING	STRUC	STRUCTURAL
EXT	EXTERIOR	SYM	SYMMETRICAL
FF	FINISHED FLOOR	Т	TRIMMER
FIN	FINISH	TN	TOENAIL
FLR	FLOOR	TO	TOP OF
FN	FACE NAIL	TYP	TYPICAL
FO	FACE OF	T\$6	TONGUE & GROOVE
FS FS	FAR SIDE	T&B	TOP & BOTTOM
FT	FEET	UNO	UNLESS NOTED OTHERWISE
FTG	FOOTING	VERT	VERTICAL
GA	GAGE, GUAGE	VIF	VERIFY IN FIELD
GALV	GALVANIZED	MF	WIDE FLANGE
GLB	GLULAM BEAM	MMF	WELDED WIRE FABRIC
HDR	HEADER	M/	MITH
HORIZ	HORIZONTAL	W/O	MITHOUT
HSB	HIGH STRENGTH BOLT	@	AT
ID	INSIDE DIAMETER	#	NUMBER, POUNDS
IN	INCHES	\$	AND
INT	INTERIOR	+/-	PLUS OR MINUS

SHEET INDEX								
Sheet Number	Sheet Name	Sheet Issue Date						
5001	STRUCTURAL NOTES & TYPICAL DETAILS	<i>02/10/202</i> 2						
5002	ENTRY CATTLE GUARD REPAIRS	<i>02/10/202</i> 2						

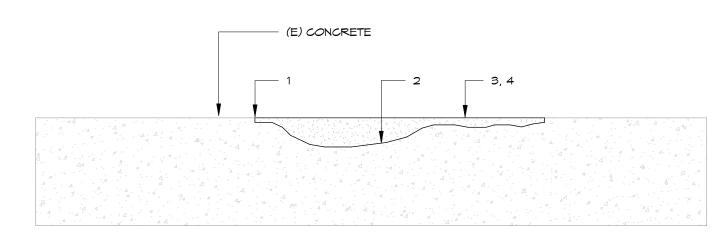
# ch

. IDENTIFY SPALLED AREAS TO BE REPAIRED AND SAWCUT AROUND PERIMETER OF AREA TO 1/4" DEPTH. REMOVE UNSOUND CONCRETE BY APPROVED MECHANICAL MEANS TO 1/4" MINIMUM DEPTH OR AS REQUIRED TO REACH SOUND CONCRETE BELOW. REPAIR DEPTHS ARE GENERALLY EXPECTED TO BE SHALLOW; IF DEPTH OF UNSOUND CONCRETE EXCEEDS 2" CONTACT THE EOR IMMEDIATELY FOR ADDITIONAL REVIEW AND DIRECTION. KEEP REPAIR AREAS

2. PRIME SURFACES OF CONCRETE AND REBAR WITH "SIKA ARMATEC 110 EPOCEM" PER MANUFACTURER'S RECOMMENDATIONS.

3. INSTALL "SIKAREPAIR-222" (HORIZONTAL SURFACES) OR "SIKAREPAIR-223" (VERTICAL & OVERHEAD SURFACES) FULL DEPTH AT REPAIR AREA PER MANUFACTURER'S RECOMMENDATIONS AND AS REQUIRED TO MATCH SURFACE LEVEL AND FINISH OF ADJACENT CONCRETE. NOTE THAT APPLICATION LAYER THICKNESS MAY BE LIMITED IN DEPTH (I.E. 1-1/2" MAX.) SO APPLICATION IN MULTIPLE LAYERS OR USE OF AGGREGATE EXTENSION MAY BE REQUIRED.

4. COMPLY WITH ALL MANUFACTURER RECOMMENDATIONS AND REQUIREMENTS INCLUDING AGGREGATE EXTENSION IF REQUIRED, CURING, ETC. REPAIR PRODUCTS LISTED ARE BASIS-OF-DESIGN PRODUCTS. CONTRACTOR MAY SUBMIT ALTERNATE PRODUCTS TO THE EOR FOR REVIEW AND APPROVAL. PROPOSED ALTERNATE MATERIALS SHALL MEET



TYP. CONCRETE SPALL REPAIR NOTES RECTANGULAR TO GREATEST EXTENT POSSIBLE.

OR EXCEED THE PROPERTIES OF THE SPECIFIED BASIS-OF-DESIGN PRODUCTS.

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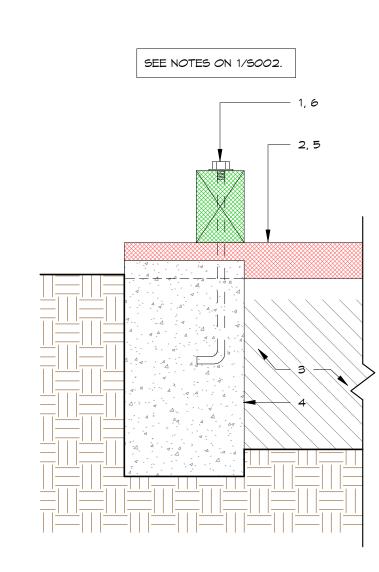
Dangberg Re revisions / Description

RGP CMR reviewed b 02/10/2022 project number

drawing name STRUCTURAL NOTES & **TYPICAL DETAILS** 

# SEE NOTES ON 1/5002.

3 CATTLEGUARD SECTION
1 1/2" = 1'-0"



3. CLEAN ALL LEAVES AND DEBRIS FROM THE WELLS ON EACH SIDE OF THE CATTLE GUARD. 4. PATCH DETERIORATED AND SPALLING CONCRETE ON TOP FACES OF NORTH AND SOUTH WALLS AND ON ALL INTERIOR VERTICAL FACES OF ALL THE 10" CONCRETE WALLS. WHERE IMPRINTS OCCUR (I.E. DOG PAW PRINTS, ETC.) THEY SHALL BE LEFT AS-IS AND NOT PATCHED. 5. RE-INSTALL (E) 3" PIPES AT THE SAME LOCATIONS THEY WERE REMOVED FROM, BUT WITH ENDS CLEANLY ALIGNED EACH SIDE OF THE CATTLE GUARD. 6. RE-INSTALL 4X6 MEMBERS EACH SIDE OF THE CATTLE GUARD. \_13'-9" +/-\_ 10" +/- TYP. 1, 6 (E) BRICK COLUMN (E) BRICK COLUMN)

1. (E) 4X6 EA. SIDE OF CATTLE GUARD. REMOVE AND SET ASIDE FOR RE-INSTALLATION LATER. TAKE CARE DURING REMOVAL TO AVOID DAMAGE TO (E) STEEL BOLTS AND NUTS HOLDING THE 4X6 IN PLACE. SET NUTS ASIDE FOR RE-

2. (E) 3" PIPES. REMOVE AND SET ASIDE FOR RE-INSTALLATION LATER. NUMBER PIECES SO THEY CAN BE RE-

CATTLE GUARD REPAIR NOTES

INSTALLED IN THE SAME LOCATIONS.

INSTALLATION LATER.

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professional seal **ROPER** Exp: 12-31-23 STRUCTURAL I 02/10/2022

consultant

project

Sel

Douglas County Community S 1594 Esmerelda Avenue Minden, Nevada 89423 Dangberg Home Ranch Restoration Projects

revisions  $\triangle$ Description

RGP CMR reviewed by 02/10/2022 21025

project number drawing name

**ENTRY** CATTLE **GUARD REPAIRS** 

1-1-1-1	Project Information						
Energy Code: 2018 IECC	Energy Code: 2018 IECC	Energy Code:	2018 IECC				
		Project Title:	Danberg Ranch Restoration Projects				
Project Title: Danberg Ranch Restoration Projects	Project Title: Danberg Ranch Restoration Projects	Project Type:	Alteration				
	,	Construction Site: 1450 Highway 88 Minden, NV 89423	Owner/Agent:	Designer/0	Contractor:		
Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88	Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor: 1450 Highway 88	Allowed Interior Lighting Po	ower				
Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423	Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor: 1450 Highway 88 Minden, NV 89423		A	В	С		D
Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power	Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor: 1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power	Λ-	rea Category	Floor Area			
Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A B C D	Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A B C D  Area Category Floor Area Allowed Minded W	^1	· · · · · · · · · · · · · · · · · · ·	(ft2)	*******		
Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A B C D  Area Category Floor Area Allowed Allowed Wa  (ft2) Watts / ft2 (B X C)	Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A B C D  Area Category Floor Area Allowed Allowed W  (ft2) Watts / ft2 (B X C)						1574
Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A B C D  Area Category Floor Area Allowed Allowed Wa  (ft2) Watts / ft2 (B X C)	Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor:  1.450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A B C D Area Category Floor Area Allowed Allowed W (ft2) Watts / ft2 (B X C)  1-Exhibit (Museum)			1485	1.06		
Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A Area Category  Area Category  Floor Area Allowed Matts / ft2 (B X C)  (ft2)  Watts / ft2 (B X C)  Froposed Interior Lighting Power  Total Allowed Watts = 1574	Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A Area Category B C D Area Category (ft2) Watts / ft2 (B X C)  1-Exhibit (Museum) 1485 1.06 1574  Total Allowed Watts = 1574  Proposed Interior Lighting Power	1-Exhibit (Museum)		1485	1.06		1574
Project Type: Alteration   Designer/Contractor:	Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A Area Category  Area Category  1-Exhibit (Museum)  A Total Allowed Watts = 1574  Proposed Interior Lighting Power  A B C D  Floor Area Allowed Allowed Watts = 1574  Total Allowed Watts = 1574	1-Exhibit (Museum) Proposed Interior Lighting F	Power A	1485 To	1.06 otal Allowed W	Vatts =	1574 E
Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A A B C D Area Category Floor Area Allowed Allowed Watts / ft2 (B X C)  I-Exhibit (Museum) 1485 1.06 1574  Total Allowed Watts = 1574  Proposed Interior Lighting Power  A B C D E	Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A B C D Area Category Floor Area Allowed Allowed Watts / ft2 (B X C)  1-Exhibit (Museum) 1485 1.06 1574  Total Allowed Watts = 1574  Proposed Interior Lighting Power  A B C D E Fixture ID: Description / Lamp / Wattage Per Lamp / Ballast Lamps/ # of Fixture (C X	1-Exhibit (Museum) Proposed Interior Lighting F	Power A	1485 To B Lamps/	1.06 otal Allowed W C # of	Vatts =  D  Fixture	1574
Construction Site:	Construction Site:	1-Exhibit (Museum)  Proposed Interior Lighting F  Fixture ID : Descript  Exhibit ( Museum 1485 sq.ft.)	Power A	1485  B Lamps/ Fixture	1.06 ptal Allowed W C # of Fixtures	Vatts =  D Fixture Watt.	1574 E (C X D
Construction Site:	Project Type: Alteration   Designer/Contractor:	1-Exhibit (Museum)  Proposed Interior Lighting F  Fixture ID : Descript  Exhibit ( Museum 1485 sq.ft.)	Power A	1485  B Lamps/ Fixture	1.06  tal Allowed W  C  # of Fixtures	Vatts =  D Fixture Watt.	1574 E (C X D
Construction Site:	Project Type: Alteration   Designer/Contractor:	1-Exhibit (Museum)  Proposed Interior Lighting F  Fixture ID : Descript  Exhibit ( Museum 1485 sq.ft.)  LED 1: L1: Decorative: Other:	Power A	1485  B Lamps/ Fixture	1.06  tal Allowed W  C  # of Fixtures	Vatts =  D Fixture Watt.	1574 E (C X D
Designer/Contractor:   Designer/Contractor:	Project Type: Alteration   Designer/Contractor:	1-Exhibit (Museum)  Proposed Interior Lighting F  Fixture ID : Descript  Exhibit ( Museum 1485 sq.ft.)  LED 1: L1: Decorative: Other:  Interior Lighting PASSES	Power A tion / Lamp / Wattage Per Lamp / Ballast	1485  B Lamps/ Fixture	1.06  tal Allowed W  C  # of Fixtures	Vatts =  D Fixture Watt.	1574 E (C X D
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Alteration   Designer/Contractor:   1450 Highway 88   Minden, NV 89423   Milowed Interior Lighting Power	Alteration   Designer/Contractor:   1450 Highway 88   Minden, NV 89423   Milowed Interior Lighting Power   Area Category   Floor Area   Allowed   Matts / ft2   (B X C)   (Ft2)   Matts / ft2   (B X C)   (Ft2)   Matts / ft2   (B X C)   (Ft2)   Matts / ft2   (B X C)   (B X C)   (Ft2)   Matts / ft2   (B X C)   (B X C	-Exhibit (Museum)  Proposed Interior Lighting F  Fixture ID : Descript  Exhibit (Museum 1485 sq.ft.)  LED 1: L1: Decorative: Other:	Power A	1485  B Lamps/ Fixture	1.06  tal Allowed W  C  # of Fixtures	Vatts =  D Fixture Watt.	1574 E (C X D
Alteration   Designer/Contractor:	Alteration  Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423 Allowed Interior Lighting Power  A Area Category  Exhibit (Museum)  A Total Allowed Watts = 1574  A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast  A B C D E C D C D C D C D C D C D C D C D D D D	Exhibit (Museum)  Proposed Interior Lighting F  Fixture ID : Descript  xhibit ( Museum 1485 sq.ft.)	Power A	1485  B Lamps/ Fixture	1.06 ptal Allowed W C # of Fixtures	Vatts =  D Fixture Watt.	1574 E (C X D
Construction Site:	Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A Floor Area Category  1-Exhibit (Museum)  A Fixture ID: Description / Lamp / Wattage Per Lamp / Ballast  Exhibit (Museum 1485 sq.ft.)  Designer/Contractor:  Designer/Contractor:  Designer/Contractor:  Designer/Contractor:  Designer/Contractor:  Designer/Contractor:  A B C D D Exhibit (Museum)  A B C D Exhibit (Museum 1485 sq.ft.)	1-Exhibit (Museum)  Proposed Interior Lighting F  Fixture ID : Descript  Exhibit ( Museum 1485 sq.ft.)	Power A	1485  B Lamps/ Fixture	1.06 ptal Allowed W C # of Fixtures	Vatts =  D Fixture Watt.	1574 E (C X D
Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A rea Category  Area Category  Floor Area Allowed Matts / ft2 (B X C)  1-Exhibit (Museum)  A 1485 1.06 1574  Total Allowed Watts = 1574  Proposed Interior Lighting Power  A B C D E  Fixture ID: Description / Lamp / Wattage Per Lamp / Ballast  Fixture Fixture Watt.	Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A rea Category  Area Category  Floor Area Allowed Allowed Watts / ft2 (B X C)  1-Exhibit (Museum)  A 1485 1.06 1574  Total Allowed Watts = 1574  Proposed Interior Lighting Power  A B C D E  Fixture ID: Description / Lamp / Wattage Per Lamp / Ballast  Fixture Fixture Watt.	I-Exhibit (Museum) Proposed Interior Lighting F Fixture ID : Descript	Power A	1485 To B Lamps/	1.06 otal Allowed W C # of	Vatts =  D  Fixture	1574 E
Construction Site:	Project Type:   Alteration	1-Exhibit (Museum) Proposed Interior Lighting F	Power A	1485 To B Lamps/	1.06 otal Allowed W C # of	Vatts =  D  Fixture	1574 E
Construction Site:	Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A B C D Area Category Floor Area Allowed Allowed Watts / ft2 (B X C)  1-Exhibit (Museum) 1485 1.06 1574  Total Allowed Watts = 1574  Proposed Interior Lighting Power  A B C D E Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast Lamps/ # of Fixture (C X	1-Exhibit (Museum) Proposed Interior Lighting F	Power A	1485 To B Lamps/	1.06 otal Allowed W C # of	Vatts =  D  Fixture	1574 E
Project Type: Alteration   Designer/Contractor:	Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A Area Category  Area Category  1-Exhibit (Museum)  A Total Allowed Watts = 1574  Proposed Interior Lighting Power  A B C D Floor Area Allowed Allowed Watts = 1574  Total Allowed Watts = 1574	1-Exhibit (Museum) Proposed Interior Lighting F	Power A	1485 To	1.06 otal Allowed W	Vatts =	1574 E
Project Type: Alteration   Designer/Contractor:	Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A Area Category Floor Area Allowed Allowed Watts / ft2 (B X C)  1-Exhibit (Museum) 1485 1.06 1574  Total Allowed Watts = 1574  Proposed Interior Lighting Power  A B C D E	1-Exhibit (Museum) Proposed Interior Lighting F	Power A	1485 To	1.06 otal Allowed W	Vatts =	1574 E
Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A Area Category  Area Category  Floor Area Allowed Watts / ft2 (B x C)  1-Exhibit (Museum)  Alteration  Designer/Contractor:  B C D Floor Area Allowed Watts / ft2 (B x C)  1-Exhibit (Museum)  Total Allowed Watts = 1574  Proposed Interior Lighting Power	Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A Area Category B C D Floor Area Allowed Allowed W (ft2) Watts / ft2 (B X C)  1-Exhibit (Museum) 1485 1.06 1574  Total Allowed Watts = 1574  Proposed Interior Lighting Power	1-Exhibit (Museum)	Power	1485	1.06 otal Allowed W	Vatts =	1574
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Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A Area Category  Area Category  Floor Area Allowed Matts / ft2 (B X C)  (ft2)  Watts / ft2 (B X C)  Froposed Interior Lighting Power  Total Allowed Watts = 1574	Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A Area Category B C D Area Category (ft2) Watts / ft2 (B X C)  I-Exhibit (Museum) 1485 1.06 1574  Proposed Interior Lighting Power	1-Exhibit (Museum)		1485	1.06 otal Allowed W	Vatts =	1574
Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A Rea Category  A Rea Category  Floor Area Allowed Allowed Watts / ft2 (B X C)  (ft2) Watts / ft2 (B X C)  Total Allowed Watts = 1574	Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power  A Area Category  A Area Category  Floor Area Allowed Allowed Watts / ft2 (B X C)  (ft2) Watts / ft2 (B X C)  Total Allowed Watts = 1574	I-Exhibit (Museum)		1485	1.06		
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Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power	Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor: 1450 Highway 88 Minden, NV 89423  Allowed Interior Lighting Power	۸-	rea Category		Allowed		wed Wat
Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88 Minden, NV 89423	Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor: 1450 Highway 88 Minden, NV 89423	Allowed litterior Eighting Po	Α	В	С		D
Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor:  1450 Highway 88	Project Type: Alteration  Construction Site: Owner/Agent: Designer/Contractor: 1450 Highway 88		ower				
Project Type: Alteration	Project Type: Alteration	1450 Highway 88	Omicorgett.	Designativ	AINGULT.		
	,	Construction Site:	Owner/Agent-	Designerif	Contractor		
	,	Project Type:	Alteration				
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Energy Code: 2018 IECC	Energy Code: 2018 IECC	Energy Code:	2018 IECC				
•	•	Energy Code:	2018 IECC				

ELEC	TRICAL LEGEND							
	PANELBOARD: SURFACE MOUNTED  PANELBOARD: FLUSH MOUNTED  SWITCHBOARD OR DISTRIBUTION PANEL  TRANSFORMER  PULLBOX / VAULT  MOTOR STARTER  COMBINATION MOTOR STARTER  COMBINATION MOTOR STARTER PROVIDED BY OTHERS  DISCONNECT SWITCH - FUSIBLE (FUSED PER EQUIP. NAMEPLATE)  DISCONNECT SWITCH - NON-FUSIBLE  DISCONNECT SWITCH PROVIDED BY OTHERS  VARIABLE FREQUENCY DRIVE  VARIABLE FREQUENCY DRIVE PROVIDED BY OTHERS  ENCLOSED CIRCUIT BREAKER  GROUND ROD  SHUNT TRIP STATION OR EMERGENCY PUSHBUTTON		SINGLE RECEPTACLE: 20A, 125V, NEMA 5-2 DUPLEX RECEPTACLE: 20A, 125V, NEMA 5-2 DUPLEX RECEPTACLE: HALF SWITCHED DUPLEX RECEPTACLE: FLOOR MOUNTED QUAD RECEPTACLE: 20A, 125V, NEMA 5-20, QUAD RECEPTACLE: FLOOR MOUNTED ISOLATED GROUND TYPE RECEPTACLE (O 125V, NEMA 5-20IG, +18" AFF (UNO) DUPLEX RECEPTACLE GFI TYPE - 20A, 125V (UNO) DUPLEX RECEPTACLE: ABOVE COUNTER (O SPECIAL PURPOSE RECEPT.: SEE DWGS FO DUPLEX RECEPTACLE: CEILING MOUNTED MULTI-OUTLET ASSEMBLY: SPACING PER DE BLANK GFCI PROTECTIVE DEVICE IN READ (LABEL PROTECTED DEVICES)	20, +18" AFF (UNO)  +18" AFF (UNO)  RANGE TRIANGLE) - 20A,  /, NEMA 5-20 GFI +18" AFF  (VERIFY HEIGHT)  OR NEMA CONFIG.  DWGS  ILY ACCESSIBLE LOCATION	(F) (M) (M) (S) (F) (F) (F) (F) (F) (F) (F) (F) (F) (F	CIRCUIT BREAKER	A ADA AFC AFCI AFF AFG AHJ AIC AL ATS AWG BC BKR C CEC CKT CLG CO CT CU DB DDC DPDT DPST DWG (E) ELEC EM	AMPS AMERICANS WITH DISABILITIES ACT ABOVE FINISHED CEILING ARC-FAULT CIRCUIT INTERRUPTER ABOVE FINISHED FLOOR ABOVE FINISHED GRADE AUTHORITY HAVING JURISDICTION AMP INTERRUPTING CAPACITY ALUMINUM AUTOMATIC TRANSFER SWITCH AMERICAN WIRE GAUGE BARE COPPER BREAKER CONDUIT/RACEWAY CALIFORNIA ENERGY COMMISSION CIRCUIT CEILING CONDUIT/RACEWAY ONLY CURRENT TRANSFORMER COPPER DISTRIBUTION BOARD DIRECT DIGITAL CONTROLLER DOUBLE-POLE, DOUBLE-THROW DOUBLE-POLE, SINGLE-THROW DRAWING EXISTING TO REMAIN ELECTRICAL EMERGENCY
M	REMOTE METER		DATA / VOICE OUTLET: FLOOR MOUNTED				EMT	ELECTRICAL METALLIC TUBING
		<b>△</b>	DATA / VOICE OUTLET: ABOVE COUNTER (V	/ERIEV HEIGHT\	- -	NORMALLY OPEN (NO) CONTACT	(F) FLA	FUTURE FULL LOAD AMPS
Φ.			MULTI-OUTLET ASSEMBLY: SPACING PER I	,	#	NORMALLY CLOSED (NC) CONTACT	FMC FPEN	FLEXIBLE METAL CONDUIT (STEEL) FUSE PER EQUIP. NAMEPLATE
\$	SINGLE POLE SWITCH 48" AFF (UNO)		TELEPHONE OUTLET: 18" AFF (UNO)	JWGS	©	COIL - VOLTAGE PER CONTROL DIAGRAMS	GFI GFR	GROUND FAULT INTERRUPT GROUND FAULT RELAY
$\mathbb{S}_3$	THREE WAY SWITCH 48" AFF (UNO)	$\bigvee$	DATA OUTLET: 18" AFF (UNO)		-0	O PILOT LIGHT (LED) PUSH-TO-TEST. LETTER INDICATES COLOR	GND	GROUND
\$4	FOUR WAY SWITCH 48" AFF (UNO)		SPEAKER		$  \rightarrow \rangle$	(R=RED, G=GREEN, A=AMBER, Y=YELLOW)	HID HOA	HIGH INTENSITY DISCHARGE HAND-OFF-AUTO SWITCH
\$ <sub>K</sub>	KEY OPERATED SWITCH 48" AFF (UNO)					PILOT LIGHT (LED) NON PUSH-TO-TEST	HP HSKP	HORSEPOWER HOUSEKEEPING
\$ <sub>L</sub>	SWITCH WITH LIGHTED HANDLE		TELEVISION OUTLET: 18" AFF (UNO)			— THERMAL OVERLOAD	IMC	INTERMEDIATE METAL CONDUIT
\$ <sub>M</sub>	MANUAL MOTOR STARTER	VC	TELEPHONE TERMINAL BOARD (TTB)				J-BOX K	JUNCTION BOX kcmil (300K = 300 kcmil)
$\mathbb{S}_{P}$	SWITCH WITH PILOT LIGHT 48" AFF (UNO)		VOLUME CONTROL			<ul> <li>MAGNETIC OVERLOAD</li> </ul>	KVA KW	KILOVOLT AMPS KILOWATT
$\mathbb{S}_{T}$	TIME WALL SWITCH 48" AFF (UNO)		GROUNDING BAR			PUSH BUTTON NORMALLY OPEN (NO)	LTG IG	LIGHTING
$\mathbb{D}$	DIMMER OPERATED SWITCH 48" AFF (UNO) OCCUPANCY SENSOR - CORNER MOUNTED AT	l la	LIGHTING FIXTURE - LOWERCASE LETTER	DENOTES SWITCHING		PUSH BUTTON NORMALLY CLOSED (NC)	MCB	ISOLATED GROUND MAIN CIRCUIT BREAKER
<b>Ŷ</b>	CEILING. AIMED AT ENTRY. PROVIDE COMPLETE AND				0		MCM MFG	THOUSAND CIRCULAR MILS MANUFACTURER
	OPERATIONAL.		WALL MOUNTED FIXTURE		H A		MLO MS	MAIN LUGS ONLY MOTOR STARTER
(S) <del>-</del>	OCCUPANCY SENSOR - CEILING MOUNTED. ARROW		RECESSED DOWNLIGHT			HAND-OFF-AUTO (HOA) SELECTOR SWITCH	MSB MTS	MAIN SWITCHBOARD MANUAL TRANSFER SWITCH
03	= 120° INDICATE, DIRECTION. SENSOR SWITCH LWS(H) SERIES		SURFACE LUMINAIRE		0 0	,	NC	NORMALLY CLOSED
			POLE MOUNTED LIGHT (# OF HEADS INDICA	ATED ON DRAWING)	00	LIMIT SWITCH NORMALLY OPEN (NO)	NEC NEMA	NATIONAL ELECTRICAL CODE NATIONAL ELECTRICAL
•	CONTROL STATION	HOH	STRIP FIXTURE		0_0	LIMIT SWITCH NORMALLY CLOSED (NC)	NIC	MANUFACTURER'S ASSOCIATION NOT IN CONTRACT
		$\boxtimes$	BOLLARD				NL	NIGHTLIGHT
			RECESSED DOWNLIGHT (WALL WASH)		R	— — — — — — — — — — — — — — — — — — —	NO NTS	NORMALLY OPEN NOT TO SCALE
	CONDUIT/RACEWAY IN WALL OR ABOVE CEILING	$\overline{\Delta}\Delta\Delta$	TRACK LIGHTING		مله	PUSH BUTTON ILLUMINATED (LED)	NVE P	NV ENERGY POLE
	CONDUIT/RACEWAY IN WALL OR ABOVE CEILING  CONDUIT/RACEWAY BELOW GRADE OR BELOW FLOOR		EMERGENCY LIGHTING UNIT				PH/Ø	PHASE PHOTOVOLTAIC
0	CONDUIT/RACEWAY UP	$\otimes$	EXIT SIGN FIXTURE - SHADED AREA DENOT DENOTE DIRECTION	TES LIGHTED FACE - ARROWS	<del>-/////</del>	TICS = NO. OF #12 WIRES (UNO) IF MORE THAN TWO WITHIN RACEWAY. GROUNDING CONDUCTOR (NOT	PNL	PANEL
			EMERGENCY FIXTURE		<i>\\\</i>	SHOWN) ALWAYS REQUIRED.	PTC PWR	PV USA TEST CONDITIONS POWER
°	CONDUIT/RACEWAY DOWN		EMERGENCY FIXTURE		<u> </u>	ISOLATED GROUNDING CONDUCTOR	(R) RAC	RELOCATED RIGID ALUMINUM CONDUIT
<del></del>	BREAK OR RUN CONTINUES	T	THERMOSTAT (PROVIDED BY MECH. CONT	RACTOR UNO)		———— NEUTRAL CONDUCTOR ————— PHASE CONDUCTOR(S)	RFC	RIGID FIBERGLASS CONDUIT
—OH—	OVERHEAD SERVICE	J	JUNCTION BOX (SIZE AS REQUIRED UNO)			BRANCH CIRCUIT (WHEN TIC MARKS ARE NOT SHOWN)	RSC SE	RIGID STEEL CONDUIT SERVICE ENTRANCE
— P —	PRIMARY	3	SHEET NOTE DESIGNATION			= (1) PHASE, (1) NEUTRAL AND (1) GROUNDING	SPD SPDT	SURGE PROTECTION DEVICE SINGLE-POLE, DOUBLE-THROW
— S —	SECONDARY	F1	FIXTURE DESIGNATION: F1=TYPE (SEE FIXT	TURE SCH.)		CONDUCTOR	SPST	SINGLE-POLE, SINGLE-THROW
— c —	COMMUNICATIONS OR SIGNAL		REVISION DELTA: NUMBER REPRESENTS F	REVISION		HOMERUN TO PANELBOARD OR DEVICE	STC SW	STANDARD TEST CONDITIONS SWITCH
— T —	TELEPHONE	1253	FEEDER DESIGNATION		HA-[1,3,5	3N]G HOMERUN CIRCUIT DESIGNATION	TE TTB	TELECOM TELEPHONE TERMINATION BOARD
— TV —	TELEVISION	AHU	TEEDER DEGIGNATION			GROUNDING CONDUCTOR	TYP	TYPICAL UNDERWRITER'S LABORATORY
-·-	LOW VOLTAGE AND/OR CONTROL WIRING	$\left(\begin{array}{c} AHU \\ 2 \end{array}\right)$	EQUIPMENT CONNECTION			NEUTRAL CONDUCTOR (N=1, 2N=2 NEUTRALS, 3N=3 NEUTRALS)	UL UNO	UNLESS NOTED OTHERWISE
	EMERGENCY CIRCUIT	20 =	INOLE DOLE OLDOUT PREATOR	I LIQUENIA	<b>-</b>	PHASE CONDUCTOR(S) PANELBOARD DESIGNATION	UNSW UPS	UNSWITCHED UNINTERRUPTED POWER SUPPLY
<del></del>	CONDUIT/RACEWAY STUB OUT: MARK AND CAP (SITE)		INGLE POLE CIRCUIT BREAKER WO POLE CIRCUIT BREAKER	L = LIGHTING R = RECEPTACLES			V VA	VOLTS VOLT AMPS
	CONDUIT/RACEWAY SLEEVE		HREE POLE CIRCUIT BREAKER	E = EQUIPMENT	HA-(1.3.5	)G HOMERUN CIRCUIT DESIGNATION (3 PHASE CIRCUIT SHOWN)	VFD	VARIABLE FREQUENCY DRIVE
			RC FAULT CIRCUIT BREAKER	M = MOTOR M1 = LARGEST MOTOR		GROUNDING CONDUCTOR	W WP	WATTS WEATHER PROOF
		20C C	ONTROLLABLE CIRCUIT BREAKER	K = KITCHEN EQUIP		PHASE CONDUCTOR(S)	(X) XFMR OI	EXISTING TO BE REMOVED  OR XF TRANSFORMER
		20G G	FI CIRCUIT BREAKER	H = ELECTRIC HEAT		PANELBOARD DESIGNATION	7	

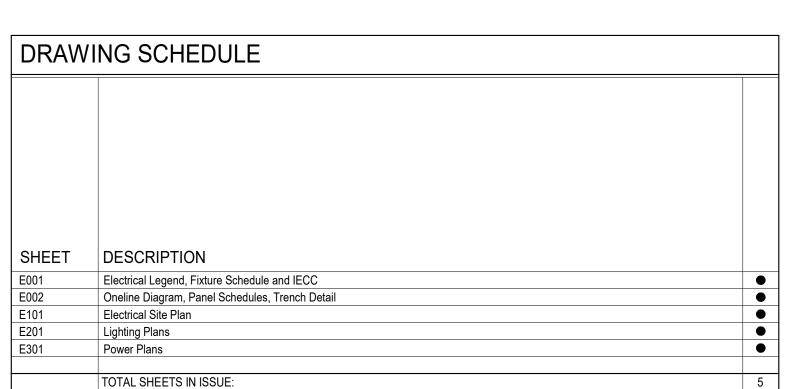
NOTE: THIS IS A MASTER SYMBOL LIST. IT MAY BE THAT NOT ALL SYMBOLS SHOWN ARE USED WITHIN THIS SET OF PLANS. HEIGHTS GIVEN ARE TO CENTER LINE OF DEVICE.

#### LIGHTING FIXTURE SCHEDULE LIGHTING FIXTURE CATALOG NUMBERS ARE SERIES TYPE ONLY. PROVIDE TRIMS, BALLASTS, MOUNTING EQUIPMENT, FITTINGS AND LAMPS AS REQUIRED BY THE SPECIFICATIONS AND PROJECT CONDITIONS FOR A COMPLETE INSTALLATION. THIS IS NOT A STANDALONE SCHEDULE AND FIXTURES MUST INCORPORATE ALL WORK INDICATED OR IMPLIED THROUGHOUT THE DRAWINGS AND SPECIFICATIONS. VERIFY ALL FIXTURE FINISHES AND LOCATIONS WITH THE ARCHITECT PRIOR TO ROUGH IN. REFER TO THE ARCHITECTURAL DOCUMENTS FOR ALL CEILING TYPES. © OR EQUAL = EQUAL OR SUPERIOR TO SPECIFIED IN ALL RESPECTS WILL BE ALLOWED. ENGINEER'S PRE-BID APPROVAL IS NOT REQUIRED. PROPOSED EQUAL FIXTURES ARE SUBJECT TO REVIEW DURING THE STANDARD SUBMITTAL PROCESS. NO EQUAL = PROVIDE SPECIFIED FIXTURE. SUBSTITUTIONS ARE NOT ALLOWED. © SUBJECT TO REVIEW = EQUAL OR SUPERIOR TO SPECIFIED IN ALL RESPECTS MAY BE ALLOWED ONLY WITH ENGINEER'S APPROVAL. ALL SUBSTITUTIONS MUST BE SUBMITTED AS REQUIRED BY SPECIFICATIONS AND ACCOMPANIED WITH POINT BY POINT LIGHTING CALCULATIONS. DETERMINATION OF EQUAL IS ENGINEER'S SOLE TYPE SYMBOL DESCRIPTION AND MANUFACTURER LED, 4" INTEGRATED LED, 2700K, BLACK FINISH. WITH TRADITIONAL 10" DIAMETER OPAL SHOOLHOUSE SHADE WITH NO STRIPE. CANOPY DIMENSIONS: 5.6"W x 4.4H VOLTAGE: 120V MANUFACTURER: SCHOOLHOUSE, NEWBURY 4" INTEGRATED LED WITH 10" TRADITIONAL OPAL SCHOOLHOUSE SHADE

SUBSTITUTIONS:  $\bigcirc$  OR EQUAL @ SUBJECT TO REVIEW  $\bigcirc$  NO EQUAL

LIGHTING CONTROL SEQUENCE OF OPERATIONS

OCCUPANCY SENSOR TIME OUT IS SET TO 20 MINUTES.



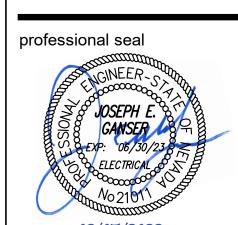


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consultant

Dangberg Home Ranch Restoration Projects Dangberg Home Ranch 1450 nv-88 Minden, Nevada 89423

No.	Description	Da
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Electrical Legend,
Fixture Schedule
and IECC

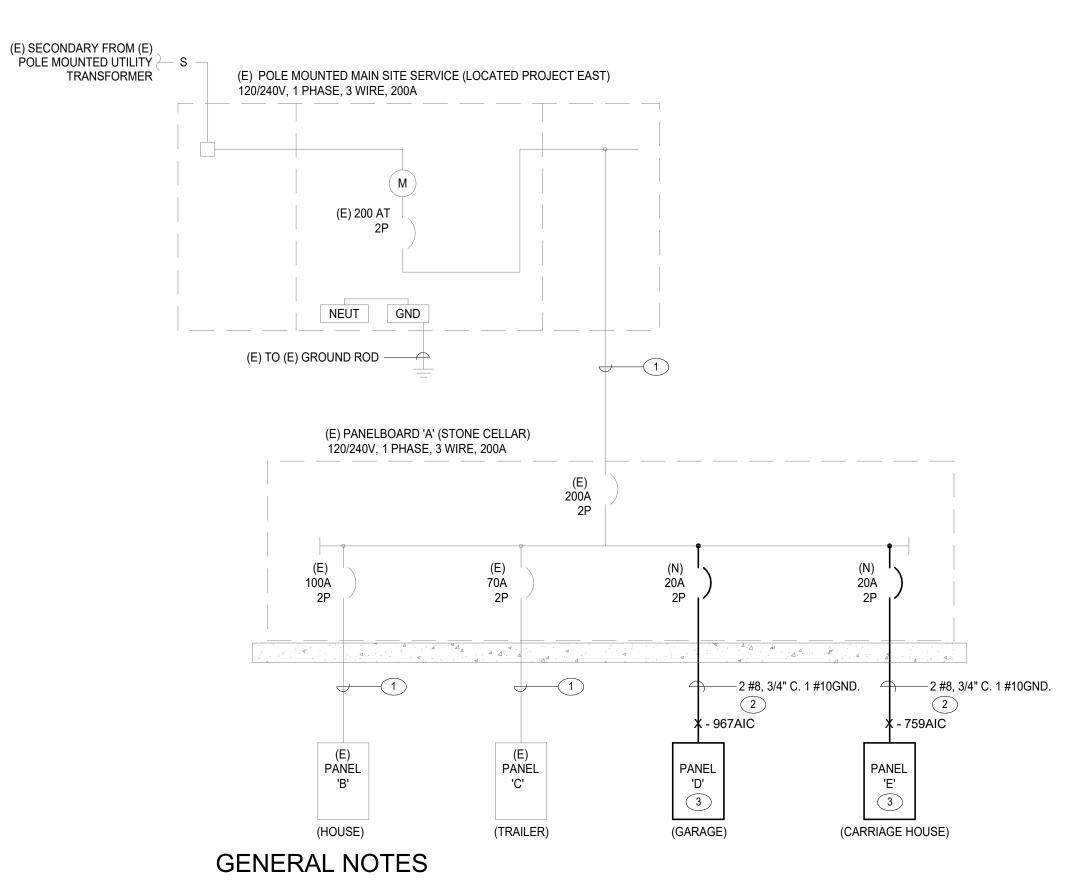
02/10/2022

21018

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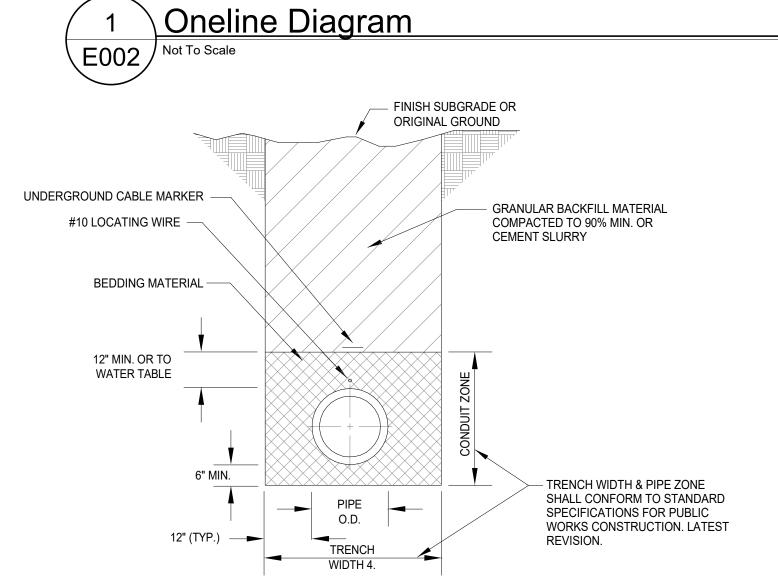
E001



- 1. (E) AND/OR SOLID LINES INDICATE EXISTING EQUIPMENT, (N) AND/OR HEAVY SOLID LINES INDICATE NEW EQUIPMENT UNLESS NOTED
- 2. SALVAGEABLE ITEMS REMOVED DURING DEMOLITION SHALL BE OFFERED TO THE OWNERS REPRESENTATIVE PRIOR TO DISPOSAL OR REMOVAL FROM SITE.
- 3. ALL CONDUIT AND WIRING SHALL BE NEW. ALL WIRING AND BUSSING TO BE COPPER, ALUMINUM IS NOT ALLOWED.

#### SHEET NOTES

- (E) IN-GRADE CONDUIT AND WIRE.
- 2 INTERCEPT AT EXISTING BUILDING EXTERIOR EXTEND VIA UNDERGROUND AS INDICATED ON THE SITE PLAN. ALL EXISTING FEEDERS TO REMAIN. PROVIDE EXTERIOR AND IN-GRADE PULL CANS AND SPLICE BOXES WITH ACCESS TO SAME AS NECESSARY.
- 3 SURFACE MOUNT ON BUILDING EXTERIOR AS INDICATED ON PLANS. PROVIDE NEMA 3R ENCLOSURE AND WEATHERTIGHT CONNECTIONS.



- NOTES:

  1. ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST REVISION.
- 2. BEDDING MATERIAL SHALL BE CLASS "A", "B", OR "C". AND SHALL BE COMPACTED TO 95% MINIMUM. FOR ELECTRICAL CONDUIT TRENCHES LESS THAN 12" IN WIDTH, INCLUDING VERMIER TRENCHES, BEDDING USED AS AN ALTERNATE TO CLASS "A", "B", OR "C" MATERIAL WITH WRITTEN APPROVAL FROM THE STATE ENGINEER FOR EACH SPECIFIC APPLICATION.
- 3. ALL EXCAVATIONS SHALL CONFORM TO THE LATEST O.S.H.S.-REQUIREMENTS. SHORING OR SLOPE CUT MAY BE NECESSARY, BUT THERE WILL BE NO PAYMENT FOR ADDITIONAL EXCAVATION, BEDDING, BACKFILL, OR SHORING.
- 4. CONTINUOUS UNDERGROUND CABLE MARKER SHALL BE INSTALLED.



			I	Panel:			<b>(E</b> )	) A			Loc	cation	:	
Туре	D	escription	Trip	Poles	#		Α		3	#	Poles	Trip	Description	Туре
E	(E) TRAILER	SUB PANEL 'C'	70	2	1	3886	9066 VA	3886 VA	9066 VA	2	- 2	100	(E) HOUSE SUB PANEL	Е
E	(E) STONE E	BUILDING POWER	20	1	5	500	500 VA	0000 771	0000 171	6	1	20	(E) LOAD	Е
E	(E) LOAD		20	1	7			500 VA	500 VA	8	1	20	(E) LAUNDRY BLDG POWER	Е
Е	(E) LOAD		20	1	9	500	500 VA			10	1	20	(E) LOAD	E
L; R;	DANIEL IEI			0	11			940 VA	500 VA	12	1	20	(E) LOAD	Е
Spare	PANEL 'E'		20	2	13	540	740 VA			14	_	20	DANIEL IDI	L; R;
	Space			1	15				0 VA	16	2	20	PANEL 'D'	Spare
	Space			1	17					18	1		Space	
	Space			1	19					20	1		Space	
	Space			1	21					22	1		Space	
	Space			1	23					24	1		Space	
	Space			1	25					26	1		Space	
	Space			1	27					28	1		Space	
	Space			1	29					30	1		Space	
	Space			1	31					32	1		Space	
				Total L	oad:	162	32 VA	1539	2 VA					
				Total A	mps:	13	35 A	12	8 A					
	r Bus Size	200	Ground			Standard		Notes:						
Voltage	9	120/240 Single	Mountin			Surface		EXISTIN	G PANELE	BOAF	RD.			
Phase		1	Enclos	-		NEMA 1		NEW LO	ADS ARE	SHO	WN IN BO	ט וכ		
<b>Vire</b>		3		ole Circu				INEW LO	ADO AINE	0110	WIN IN DO	JLD.		
Lugs			_			31624 VA							AD WAS 25.9kW ON 02/13/2020 A	
Breake	r AIC Rating		Conne	cted Am	<b>ps:</b> 1	132 A							STORICAL MAXIMUM DEMAND A	
Neutra		100.00%	De	emand k	<b>/A</b> : 3	31624 VA							JALS 34.6KVA. THIS PANELBOAI DED NEW LOAD.	RD IS
Feeder	OCPD Size		Den	nand Am	ps: 1	132 A		CALCUL	אובטוט	VVIII	ISTAND	ıne AD	DED NEW LOAD.	

			I	Panel:				)			Lo	cation	:	
Туре	D	escription	Trip	Poles	#		A	I	3	#	Poles	Trip	Description	Туре
L (	GARAGE LIC	GHTING	20	1	1	200	540 VA			2	1	20	GARAGE RECEPTACLE	R
8	Spare		20	1	3			0 VA	0 VA	4	1	20	Spare	
8	Spare		20	1	5	0	0 VA			6	1	20	Spare	
				Total L Total A			O VA S A		VA A					
Copper l	Bus Size	100	Ground	<u> </u>		Standard		Notes:						
		100 120/240 Single	Ground Mountir			Standard Surface		Notes:						
Voltage				ng				Notes:						
Voltage Phase			Mountir Enclose	ng		Surface NEMA 3R		Notes:						
Voltage Phase Wire		120/240 Single	Mountin Enclose # of 1-P	ng ure	uits	Surface NEMA 3R 6		Notes:						
Voltage Phase Wire Lugs		120/240 Single 1 3 MCB	Mountin Enclose # of 1-P	ng ure Pole Circu	uits VA:	Surface NEMA 3R 6 740 VA		Notes:						
Voltage Phase Wire Lugs		120/240 Single 1 3 MCB	Mountin Enclosu # of 1-P Conn Conne	ng ure Pole Circu nected k	uits VA:	Surface NEMA 3R 6 740 VA 3 A		Notes:						

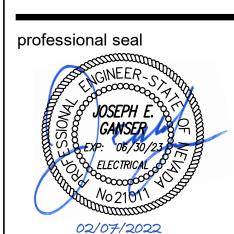
			I	Panel:			I				Loc	cation	:	
Туре	D	escription	Trip	Poles	#		A		В	#	Poles	Trip	Description	Туре
L	CARRIAGE I	HOUSE LIGHTING	20	1	1	400	540 VA			2	1	20	CARRIAGE RECEPTACLE	R
	Spare		20	1	3			0 VA	540 VA	4	1	20	CARRIAGE RECEPTACLE	R
	Spare		20	1	5	0	0 VA			6	1	20	Spare	
	Total Load			oad:	940	O VA	540	O VA					·	
İ				Total A	mps:	8	3 A	5	iΑ					
Coppe	r Bus Size	100	Ground		5	Standard		Notes:						
Voltage	9	120/240 Single	Mountir	ng	5	Surface								
Phase		1	Enclosu	ıre	1	NEMA 3R								
Wire		3	# of 1-P	ole Circu	uits 6	3								
Lugs		MCB	Con	nected k	<b>/A</b> : 1	1480 VA								
Breake	r AIC Rating	10KAIC	Conne	cted Am	ps: 6	6 A								
Neutra	l	100.00%	De	emand k	<b>/A</b> : 1	1480 VA								
Feeder	OCPD Size	20A	Den	nand Am	ps: <u>6</u>	6 A								

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project

Dangberg Home Ranch
Restoration Projects
Dangberg Home Ranch
1450 nv-88
Minden, Nevada 89423

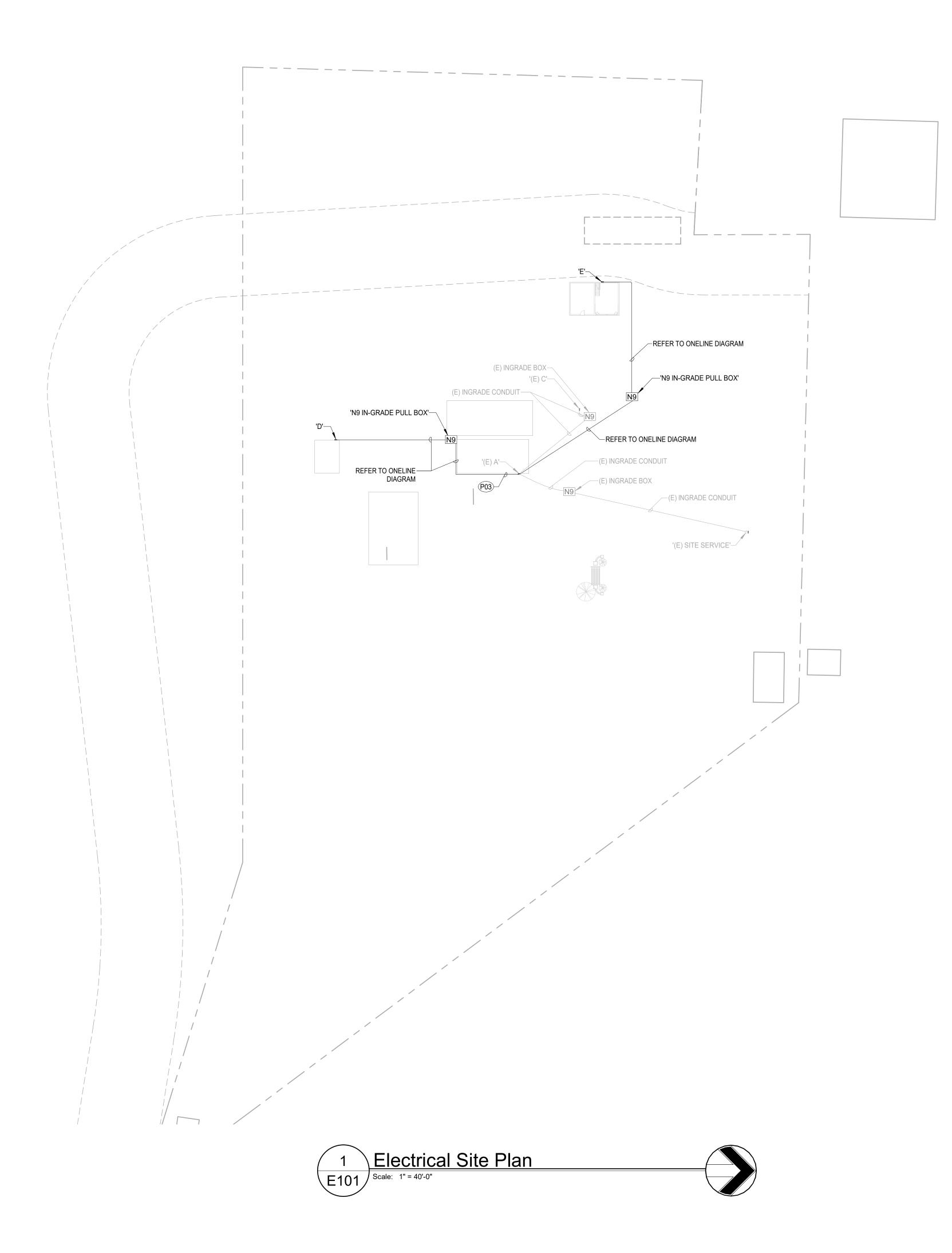
drawn by Author
reviewed by Checker
date 02/10/2022
project number 21018

Oneline Diagram,
Panel Schedules,
Trench Detail

sheet number

E002





#### GENERAL NOTES

- 1. (E) AND/OR SOLID HALFTONE LINES INDICATE EXISTING EQUIPMENT, (R) AND/OR DASHED LINES INDICATE RELOCATED EQUIPMENT, (N) AND/OR SOLID LINES INDICATE NEW EQUIPMENT UNLESS NOTED OTHERWISE.
- 2. SEE ONELINE DIAGRAM(S) FOR CONDUIT, WIRE SIZES AND EQUIPMENT REQUIREMENTS.
- 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH APPLICABLE PUBLIC WORKS STANDARDS, DRAWINGS AND REPRESENTATIVES FOR DETERMINING THE EXACT RESPONSIBILITY OF EACH PARTY.
- 4. SEE UTILITY DRAWINGS FOR ALL UTILITY WORK WORK REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR INCLUDING ALL WORK REQUIRED IN BID. COORDINATE WITH EACH NEW AND EXISTING SITE UTILITY.
- 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL 1-800-227-2600 FOR LOCATES PRIOR TO DIGGING. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO LOCATE ALL NON-UTILITY UNDERGROUND ITEMS.
- 6. THE MAXIMUM NUMBER OF CONDUIT BENDS SHOULD NOT BE GREATER THAN 270 DEGREES BETWEEN PULLING STRUCTURES. THIS INCLUDES THE AGGREGATE OF ALL HORIZONTAL AND VERTICAL CHANGES.
- 7. ALL CONDUIT, INNERDUCT, PULLBOXES AND VAULTS SHALL BE LABELED PER THE SPECIFICATIONS.
- 8. ALL RECEPTACLES WITH WEATHER PROOF DESIGNATION SHALL BE PROVIDED WITH 'WHILE IN USE' COVERS.
- 9. ALL CONDUIT, INNERDUCT, PULLBOXES AND VAULTS SHALL BE LABELED PER THE SPECIFICATIONS.
- 10. COORDINATE LOCATION OF BELOW-GRADE CONDUITS, DUCT BANKS, ETC. WITH CIVIL ENGINEER AND OTHER TRADES AND ALL EXISTING CONDITIONS PRIOR TO ROUGH-IN.

### SHEET NOTES

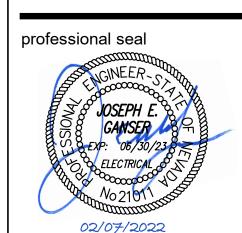
P03 ROUTE CONDUIT ON BUILDING EXTERIOR SIMILAR TO EXISTING CONDUIT. PAINT TO MATCH SURROUNDING FINISH PER ARCHITECT DIRECTION. PRIOR TO ROUGH-IN TO MNIMIZE CONDUIT VISIBILITY SUBMIT TO ARCHITECT COMPLETE SHOP DRAWING OF CONTRACTOR PROPOSED CONDUIT ROUTING.

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Dangberg Home Ranch Restoration Projects Dangberg Home Ranch 1450 nv-88 Minden, Nevada 89423

revisions No. Description I

drawn by Author
reviewed by Checker
date 02/10/2022
project number 21018

drawing name

Electrical Site Plan

sheet numb

F101

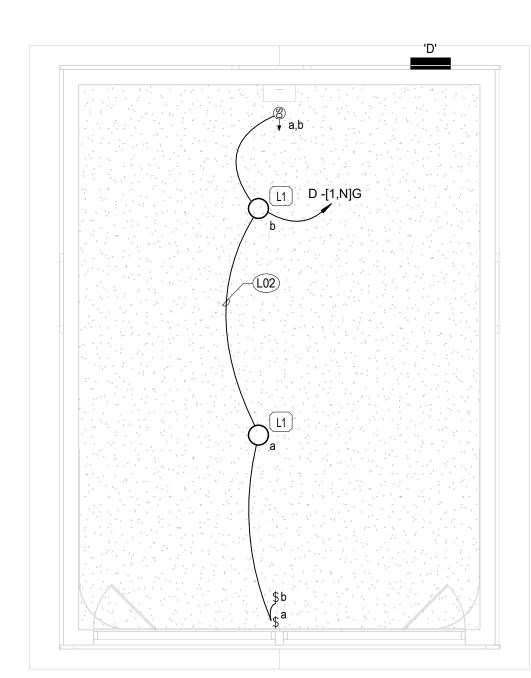


#### ### SHEET NOTES

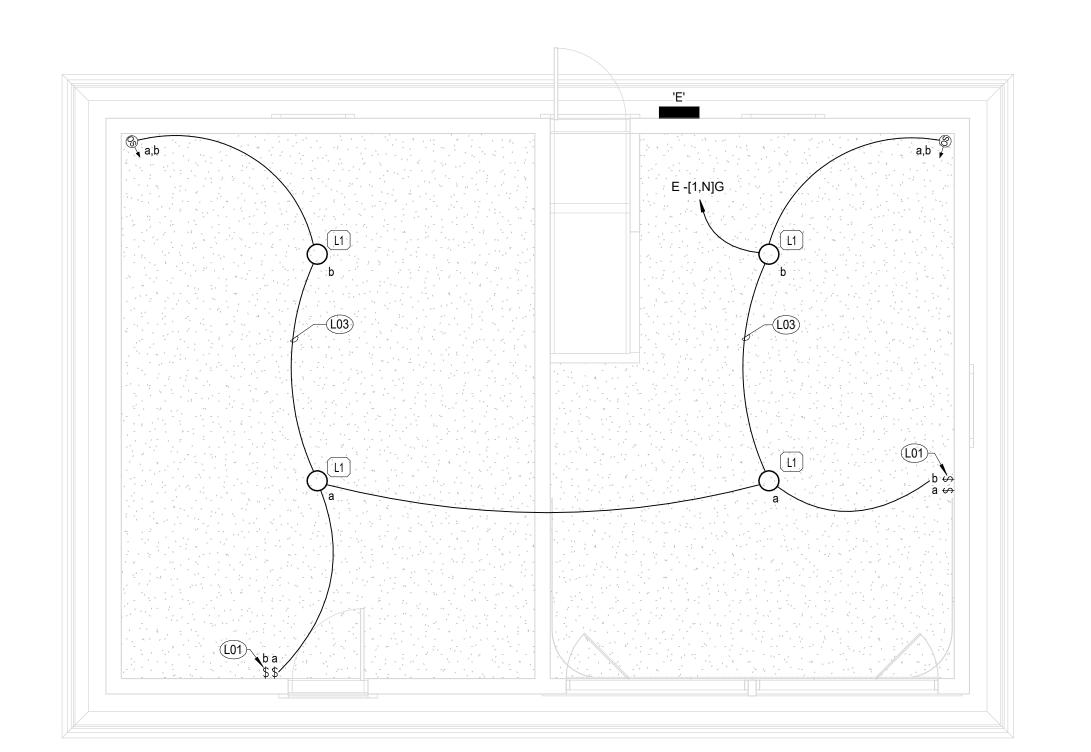
- L01 ALL FACEPLATES SHALL BE STAINLESS STEEL. TYPICAL.
- L02 ROUTE WIREMOLD V500 SERIES OR EQUAL SURFACE RACEWAY COMPLETE WITH ALL NECESSARY TRANSITIONS, SUPPORTS AND CONNECTIONS MOUNTED HIGH AND TIGHT TO BUILDING LINES. PAINT TO MATCH SURROUNDING FINISH PER ARCHITECT DIRECTION. PRIOR TO ROUGH-IN TO MINIMIZE CONDUIT VISIBILITY SUBMIT TO ARCHITECT COMPLETE SHOP DRAWING OF CONTRACTOR PROPOSED CONDUIT ROUTING.
- L03 ROUTE NEW CONDUIT ABOVE NEW CEILING. CONFIRM ROUTING AND MOUNTING WITH ARCHITECT PRIOR TO ROUGH-IN.

#### **GENERAL NOTES**

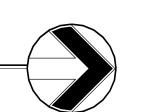
- (E) AND/OR SOLID HALFTONE LINES INDICATE EXISTING EQUIPMENT, (R) AND/OR DASHED LINES INDICATE
  RELOCATED EQUIPMENT, (N) AND/OR SOLID LINES INDICATE NEW EQUIPMENT UNLESS NOTED OTHERWISE.
- 4. UNLESS NOTED OTHEREWISE ELECTRICAL CONDUITS SHALL BE RUN CONCEALED WHERE BUILDING CONSTRUCTION ALLOWS. ANY EXPOSED CONDUIT SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. ANY EXPOSED CONDUIT, FITTING, SUPPORTS, ETC SHALL BE PAINTED TO MATCH THE SURFACE ON WHICH THEY ARE INSTALLED.
- 5. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS, SECTIONS, ELEVATIONS, ETC. FOR EXACT LOCATION OF LIGHTING FIXTURES.
- 6. EXACT LOCATION AND MOUNTING HEIGHT OF EXTERIOR BUILDING-MOUNTED FIXTURES SHALL BE COORDINATED WITH ARCHITECT PRIOR TO ROUGH-IN.
- 7. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING FINAL FIXTURE LOCATIONS, ABOVE-CEILING HOUSING CLEARANCES, ETC. WITH MECHANICAL, PLUMBING, SPRINKLER CONTRACTOR AND OTHER TRADES PRIOR TO ROUGH-IN.











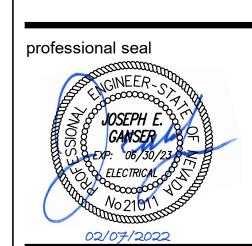


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drawn by Author
reviewed by Checker
date 02/10/2022
project number 21018

drawing name

Lighting Plans

sheet number

E201

#### ### SHEET NOTES

- P01 ALL FACEPLATES SHALL BE STAINLESS STEEL. TYPICAL
- P02 ROUTE WIREMOLD V500 SERIES OR EQUAL SURFACE RACEWAY COMPLETE WITH ALL NECESSARY TRANSITIONS, SUPPORTS AND CONNECTIONS MOUNTED HIGH AND TIGHT TO BUILDING LINES. PAINT TO MATCH SURROUNDING FINISH PER ARCHITECT DIRECTION. PRIOR TO ROUGH-IN TO MNIMIZE CONDUIT VISIBILITY SUBMIT TO ARCHITECT COMPLETE SHOP DRAWING OF CONTRACTOR PROPOSED CONDUIT ROUTING.
- P04 REMOVE EXISTING ELECTRICAL DEVICES AND NON-DESTRUCTIVELY CLEAN AND REFURBISH DEVICES FOR VISUAL PURPOSES ONLY. REMOVE EXISTING KNOB AND TUBE WIRING ACCESSIBLE AND VISIBLE BELOW EXISTING CEILING.

#### GENERAL NOTES

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- CONTRACTOR SHALL COORDINATE FINAL RECEPTACLE AND PANELBOARD LOCATIONS WITH THE OWNER PRIOR TO ROUGH-IN.
- 4. COORDINATE EXACT MOUNTING HEIGHTS AND LOCATIONS OF GENERAL RECEPTACLES, SPECIAL OUTLETS, PANELBOARDS AND DISCONNECT SWITCHES WITH OWNER AND EQUIPMENT SUPPLIERS PRIOR TO ROUGH-IN.

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02/07/2022

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No.	Description	Date

drawn by	Autho
reviewed by	Checke
date	02/10/202
project number	2101

drawing name

Power Plans

sheet number

E301

