

# Dangberg Home Ranch Restoration Projects PWP-DO-2022-180

Dangberg Home Ranch  
1450 NV-88  
Minden, Nevada 89423



Bid Documents  
2/10/2022

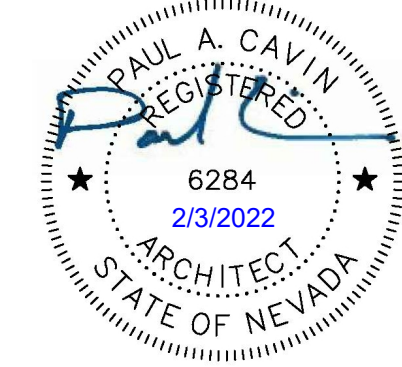
Paul Cavin  
Architect LLC

1575 Delucchi Lane, Suite 120  
Reno, Nevada 89502

office: (775) 284-7083  
mobile: (775) 842-0261

www.paulcavindesign.com  
paul@paulcavindesign.com

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project

Dangberg Home Ranch  
Restoration Projects

Dangberg Home Ranch  
1450 NV-88  
Minden, Nevada 89423

revisions

No.	Description	Date

drawn by RBR  
reviewed by MLM  
date 2/10/2022  
project number 21018  
drawing name

Cover Sheet

sheet number

A000



General Notes					
1.	The General Notes and all other notes herein apply to all work described in the Contract Documents.	13.	The Contractor shall be responsible for the acts and omissions of the Contractor's employees, Sub-contractors, suppliers, vendors and their agents and employees and other persons or entities performing any portion of the Work under a Contract with the Contractor.	25.	The Contractor shall not employ (for the Project at hand) a proposed project manager and/or superintendent, to whom the Owner and/or Architect have made a reasonable and timely objection. The Contractor shall not change the Project Manager or Superintendent without the Owner's consent.
2.	The Contract Documents consist of the Agreement between the Owner and Contractor, the Conditions of the Contract (General, Supplementary, Invitation to Bid and other Conditions) , Drawings, Project Manual, Specifications and Addenda issued prior to execution and all modifications issued after execution of the Contract.	14.	The Contractor shall perform the Work in a continuous and diligent manner to ensure Substantial Completion of the Project within the Contract Time.	26.	The Contractor shall be responsible for initiating, maintaining and supervising all safety programs and precautions of the Project and Project site during the course of construction, all Work performed shall conform to applicable safety regulations.
3.	The Work includes the completed or partially completed construction required by the Contract Documents and includes all labor, materials, equipment, coordination, and services necessary to produce the Work described in the contract documents.	15.	The Contractor shall be responsible for the location and protection of all existing items and materials, all new construction items and materials, adjacent circulation paths (pedestrian and vehicular), and other improvements during the course of construction.	27.	The Contractor and/or Sub-Contractor shall promptly remedy damage to the Owner's property caused by the Contractor and/or Sub-Contractor to existing conditions and/or new construction.
4.	The Contract Documents are complementary, the intent is to include all items and materials necessary for the proper execution and completion of the Work by the Contractor and any necessary sub-contractors.	16.	Unless noted otherwise in the Contract Documents, the Contractor shall provide and pay for all labor, materials, equipment, tools, machinery, water, heating, utilities, transportation and other facilities and services necessary for the proper execution and completion of the Work.	28.	The Contractor at all times shall keep the premises free from accumulation of waste materials or rubbish caused by work operations. At the completion of the Work the Contractor shall remove all waste materials and rubbish associated with the Work as well as all tools, construction equipment, machinery and surplus materials.
5.	The Contractor shall carefully study and compare the Contract Documents and shall at once report to the Architect any error, inconsistency or omission that is discovered. The Contractor to submit a Request for Information (RFI) to the Architect prior to proceeding. The Contractor shall not perform any portion of the Work at any time without current and complete Contract Documents.	17.	Where conflicts are encountered within the Contract Documents that will effect the quality or extent of the work, such conflict shall be resolved to the satisfaction of the Owner and Architect before the affected items and materials are purchased, fabricated or installed.	29.	The Contractor shall provide the Owner and Architect access to the Project site and Work where ever located. The Contractor shall provide the necessary safety equipment to the Owner, Architect, Engineer or other design personnel visiting the site. Safety equipment shall include, but not be limited to: Hard hat, safety vest, safety glasses, face coverings, reading glasses, dust mask, and hearing protection.
6.	The Contractor is required to visit the site as part of pre-bid preparation to compare the Drawings and Specifications and become familiar with any work in place and be informed of all conditions of the work environment including the Work being performed. Failure to visit the site will in no way relieve the Contractor from necessity of furnishing any materials of performing any Work in accordance with the Contract Documents that may be required to complete the Work. The Contractor shall report inconsistencies in the drawings, specifications, and site conditions to the Owner and Architect during the bid period. Failure not to report inconsistencies does not relieve the Contractor from furnishing or providing the necessary material and/or labor to complete the work described in the Contract Documents.	18.	Where variance occurs between the drawings, specifications, site, and design disciplines, the more stringent requirements shall govern.	30.	Existing conditions including material sizes, configurations and locations as shown in the Contract Documents may not be an exact illustration of existing conditions. The Contractor shall include in his bid the cost of furnishing, installing, modifying, existing and new materials required for a complete and professional installation that may be required by minor variation between existing conditions and actual conditions.
7.	Drawings are not to be scaled for information or disassembled for convenience.	19.	Where conflicts occur at the Project site, coordinate the necessary layouts and exact locations of all elements of work in conflicting areas with the Architect in the field before proceeding with the Work.	31.	The Contractor shall promptly correct Work rejected by the Architect that fails to conform to the requirements of the Contract Documents, whether discovered before or after Substantial Completion.
8.	In the event certain features of the Work are not fully shown in the Contract Documents, then the construction shall be of the same character as for similar conditions that are shown or called for and shall be reviewed by the Architect prior to execution.	20.	Where pre-manufactured items and materials are to be installed, the Contractor shall verify all necessary dimensions in the field prior to the purchase and/or fabrication of the items and materials.	32.	Shop drawings, submittals, product data and samples are not a part of the Contract Documents. The Architect will review such materials, but only for conformance with the design concept of the Work and with the information given in the Contract Documents. The Contractor shall not be relieved of responsibility for any deviation from the requirements of the Contract Documents by the Architect's or Engineer's review of shop drawings, submittals, product data or samples.
9.	All Work shall be performed within strict conformance to the minimum standards of the current edition of the International Building Code (IBC) and all applicable national, state and local laws, regulations and ordinances.	21.	The Contractor warrants that materials and equipment furnished under the Contract will be of good quality and new unless identified otherwise in the Contract Documents.	33.	The Architect has the authority to order minor changes in the Work not involving adjustment to the Contract Sum or extension of the Contract Time. Such orders shall not be inconsistent with the intent of the Contract Documents. Such minor changes will be issued in written format, signed by the Architect.
10.	The Contractor shall comply with notices given and required by lawful orders of public authorities applicable to the performance of the Work.	22.	The Contractor shall guarantee and warranty all work and materials to the project to be free from defects for a minimum of one year from the date of substantial completion and promptly remedy such defects and any subsequent damage caused by the defects or repair thereof at no expense to the Owner. Guarantee and warranty periods greater than one year may be required elsewhere in the Contract Documents.	34.	The existing building and the areas adjacent to the projects scope of work will remain occupied during construction. Contractor to minimize disturbances, noise, dust and debris as much as reasonable in order for the building to remain an active and safe facility.
11.	The Contractor shall coordinate locations of any and all items, including but not limited to: existing conditions, civil, landscape, structural, mechanical, plumbing, electrical, lighting, data, voice and audio/visual; including, but not limited to all structure, equipment, ductwork, piping and conduit. Coordinate all required clearances for installation and maintenance of the above items.	23.	Where any item or material is indicated in the Contract Documents and not necessarily detailed in each specific case, but are required for a complete and professional installation, such item or material shall be provided as if shown and detailed in full. Contractor to provide all necessary labor, materials, means and methods to furnish and install.	35.	The Contract Documents (drawings, project manual, etc.) will be issued to the General Contractor in electronic portable document format (pdf). The General Contractor, sub-contractors, and all others shall be responsible for reproduction (printing) and reproduction costs of the Contract Documents for their use before, during, and after construction operations.
12.	The Contractor shall supervise and direct the Work, using the best skill and attention necessary and shall be solely responsible for all construction means, methods, techniques, sequences, procedures and for coordination of all portions of the Work described in the Contract Documents.	24.	The Contractor shall employ a competent Project Manager, Superintendent and necessary personnel for the Work. The Superintendent shall be in attendance at the Project site during execution of the Work.		

Project Team	
<b>Owner</b> Dangberg Home Ranch 1450 NV-88 Minden, Nevada 89423 <b>Phone:</b> Contact: Mark Jensen e-mail: curator@dangberghomeranch.org	<b>Managing Agency</b> Douglas County Community Services 1594 Esmeralda Avenue Minden, Nevada 89423 <b>Phone: (775) 782-9829</b> Contact: Scott McCullough email : smccullough@doughlasnv.us
<b>Architecture</b> Paul Cavin Architect, LLC 1575 Delucchi Lane, Suite 120 Reno, Nevada 89502 <b>Phone: (775) 842-0261</b> Contact: Paul Cavin, AIA e-mail: paul@paulcavindesign.com Contact: Mike Maddox e-mail: paul@mikecavindesign.com	<b>Structural</b> CFBR Design Group, LLC 5425 Louie Lane, Suite 2C Reno, Nevada 89511 <b>Phone: (775) 470-1365</b> Contact: Chris Roper, PE/SE e-mail: chris@cfbrgroup.com Contact: Rowland Perez e-mail: rowland@cfbrgroup.com
<b>Electrical</b> PK Electrical, Inc. 681 Sierra Rose Drive, Suite B Reno, Nevada 89511 <b>Phone: (775) 826-9010</b> Contact: Joey Ganser, P.E. e-mail: jganser@pkelectrical.com Contact: Kent Parshall e-mail: kparshall@pkelectrical.com	
Design Criteria	
<b><u>Applicable Codes and Regulations:</u></b> 2018 International Building Code 2018 International Existing Building Code 2018 International Fire Code 2017 National Electric Code 2018 International Energy Conservation Code The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings U.S. Department of the Interior National Parks Service Cultural Resources Preservation Briefs	
Scope of Work	
The project consist of renovations of the Gateway Entrance Columns, the Garage and the Carriage House. Refer to scope of work for each structure on sheet A001 for a more detailed description of work.	

Sheet Index	
A000	Cover Sheet
G100	General Information and Project Data
ARCHITECTURAL	
A001	Architectural Site Plan (For Reference Only)
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A101	Carriage House Floor Plan
A102	Garage Floor Plan
A201	Garage Roof Plan
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A302	Exterior Elevations - Carriage House
A303	Exterior Elevations - Garage
A304	Exterior Elevations - Garage
A501	Carriage House Reflected Ceiling Plans
A502	Garage Reflected Ceiling Plan
STRUCTURAL	
S001	STRUCTURAL NOTES & TYPICAL DETAILS
S002	ENTRY CATTLE GUARD REPAIRS
ELECTRICAL	
E001	Electrical Legend, Fixture Schedule and IECC
E002	Oneline Diagram, Panel Schedules, Trench Detail
E101	Electrical Site Plan
E201	Lighting Plans
E301	Power Plans

project

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revisions [illegible]

drawn by	MLM
reviewed by	PAC
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project number	21018
drawing name	

## sheet number

# G100

Abbreviations			
@	At	In	Inches
#	Pound or Number	ID	Inside Diameter
(e)	Existing		
AC	Asphaltic Concrete	Lav	Lavatory
ACT	Acoustical Ceiling Tile	Lbs	Pounds
AFF	Above Finished Floor	LED	Light Emitting Diode
Alum	Aluminum	LF	Linear Feet (foot)
AV	Audio Visual	Max	Maximum
CF/CI	Contractor Furnished /	Mfrs	Manufacturer's
	Contractor Installed	Min	Minimum
CF/OI	Contractor Furnished /	Misc	Miscellaneous
	Owner Installed	MO	Masonry Opening
CJ	Control Joint	NIC	Not in Contract
CL	Center Line	No	Number
CMU	Concrete Masonry Unit		
Conc	Concrete	OC	On Center
Cont	Continuous	OD	Outside Diameter
CPT	Carpet	OF/CI	Owner Furnished /
CT	Ceramic Tile		Contractor Installed
CTV	Cable Television	OF/OI	Owner Furnished / Owner Installed
Deg	Degree		
Demo	Demolition	Plam	Plastic Laminate
Dia	Drinking Fountain	PT	Paint
Dim	Diameter	PVC	Polyvinyl Chloride
	Dimension		
Ea	Each	R	Radius
EJ	Expansion Joint	RCP	Reflected Ceiling Plan
EW	Electric Water Cooler	Rev	Revision
		RO	Rough Opening
		RWL	Rain Water Leader
FD	Floor Drain		
FDC	Fire Department	SF	Square Foot (Feet)
	Connection	Sim	Similar
FE	Fire Extinguisher	SS	Stainless Steel
FEC	Fire Extinguisher		
	Cabinet	T&G	Tongue and Groove
FF&E	Furniture, Fixtures and	T	Tempered
	Equipment	TO	Top of
FRP	Fiber Reinforced Plastic	TYP	Typical
FT	Feet or Foot		
		UNO	Unless Noted Otherwise
Ga	Gage		
Galv	Galvanized	VCT	Vinyl Composition Tile
Gyp bd	Gypsum Board	VIF	Verify in Field
HB	Hose Bib	WC	Water Closet
HC	Hollow Core	WD	Wood
HM	Hollow Metal	WH	Water Heater
HW	Hot Water		

Symbols	
	North Arrow
	Detail Indicator
	Detail Indicator
	Detail Indicator
	Detail Indicator
	Building Section Indicator
	Wall Section Indicator
	Exterior Elevation Indicators
	Interior Elevation Indicators
	Grid Line
	Room Tag
	Door Tag
	Window Tag
	Wall or Partition Type
	Accessory Tag

Dangberg Ranch

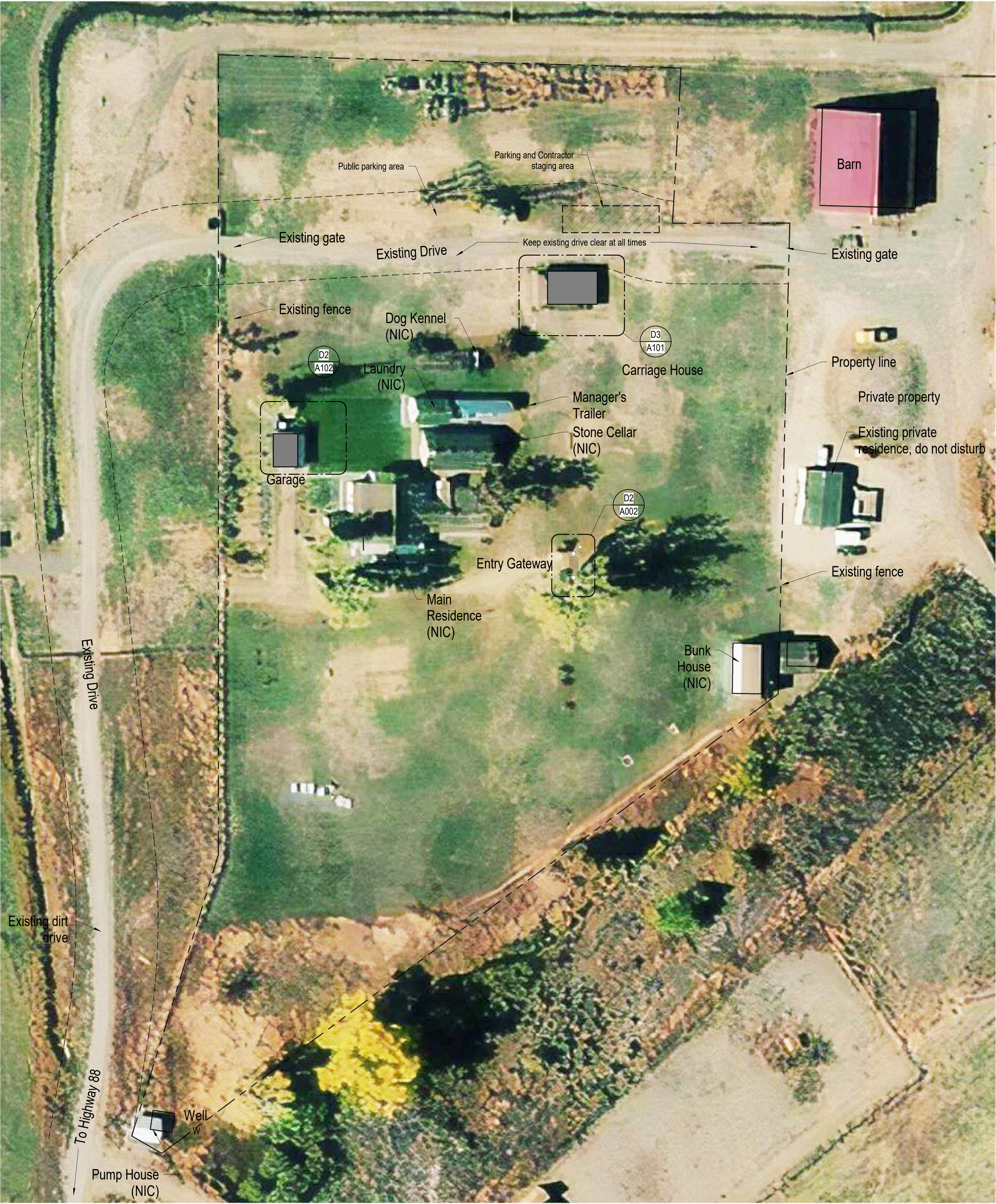
Project Location

Dangberg Home Ranch Historic Park

North

No Scale





D4 Architectural Site Plan  
1" = 40'-0"



### Site Plan Notes

1. The Overall Site Plan is for reference only and shows the existing conditions. Refer to plans, elevations and detail drawings for additional information. Report any discrepancies found between the drawings and field conditions to the Architect prior to execution of work.
2. Coordinate construction operations, schedule, and sequencing with Douglas County Community Services Project Manager and Dangberg Ranch Curator.
3. Refer to the Project Manual and other Drawings for additional information and requirements.
4. Refer to Electrical Drawings and Specifications for additional information, requirements, and improvements.
5. Contractor is responsible for safety and security of the Contractor parking and staging area. Temporary fencing is recommended for securing construction materials, vehicles, equipment, etc. at the staging area.
6. The Contractor parking and staging area must maintain a clear path for emergency vehicles to circulate around the building at all times.
7. At the conclusion of the project the Contractor shall clean the site area and restore to original appearance.
8. The general public will have access to the site and Dangberg Ranch exhibits during construction. It is the contractor's responsibility to secure each construction area and prevent conflicts with the general public.

### Scope of Work for Each Structure

1. Gateway:  
Gateway scope of work consists of exterior cleaning of the masonry monuments, replace and/or install new bricks, repointing of damaged mortar joints, form and place new mortar caps, reconstruct column mortar caps and mortar ornamentation, remove and re-set cattle guard pipes and patch cattle guard concrete surface. See drawings and specifications for additional scope of work.
2. Carriage House:  
Carriage House scope of work consists of exterior cleaning, miscellaneous building repairs, prep and painting field/accents colors, clean, lubricate and tighten the garage door hardware, removal, repair and re-install the 4x wood threshold, removal, replacement and painting of the plaster ceiling, minor repairs at stair enclosure, removal of 4" of dirt floor and replace with filter fabric and angular gravel, new electrical surface and lighting to the garage portion, clean and refurbish existing electrical to be non-functional and repointing of isolated interior and exterior mortar joints. See drawings and specifications for additional scope of work.
3. Garage:  
Garage scope of work consists of exterior cleaning, miscellaneous building repairs, prep and painting field/accents colors, replacement of the corrugated roofing and flashing, lubricate and tighten the garage door hardware, remove and abandoned modern low voltage electrical wiring and devices, new electrical surface and lighting, clean and refurbish existing electrical to be non-functional, repair and painting of the plaster ceiling and repointing of isolated interior and exterior mortar joints. See drawings and specifications for additional scope of work.

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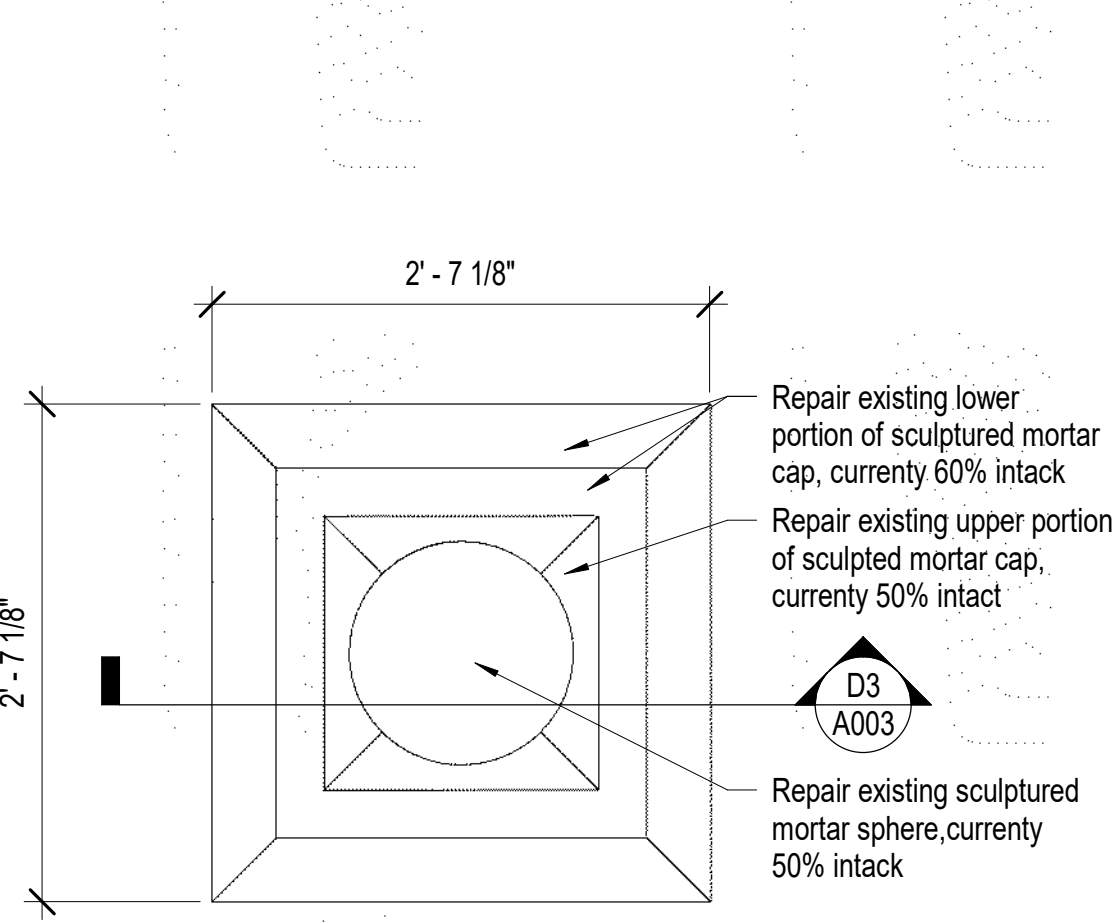
drawn by MLM  
reviewed by PAC  
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drawing name

### Architectural Site Plan (For Reference Only)

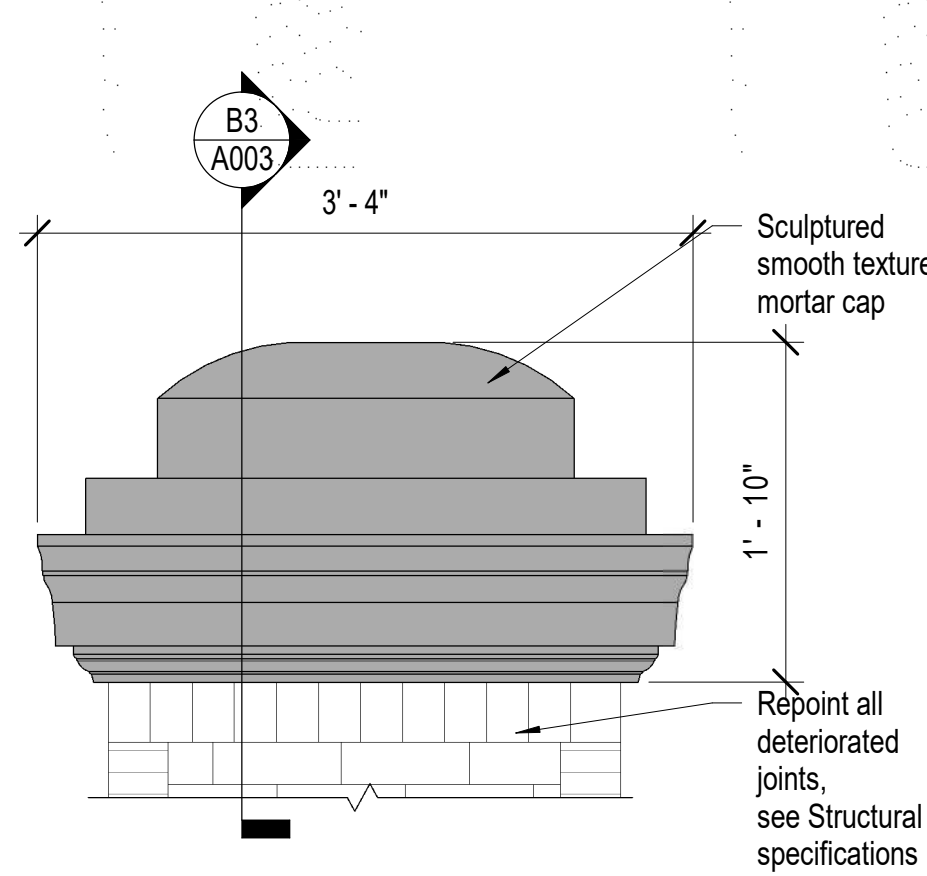
sheet number

A001

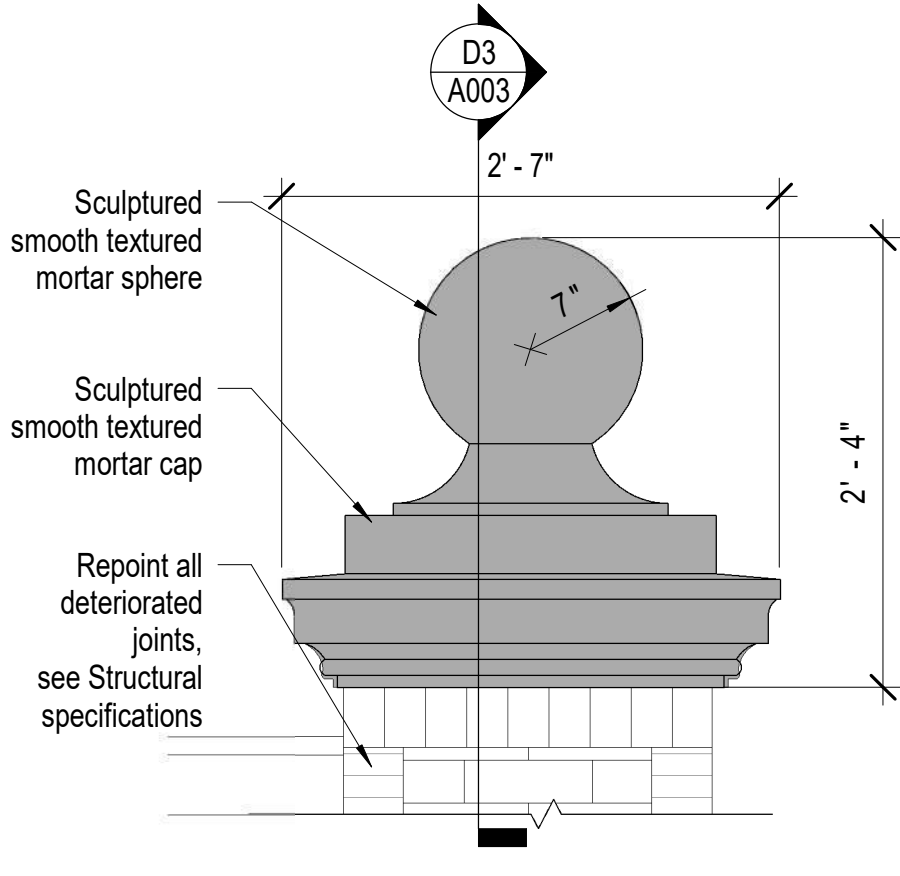




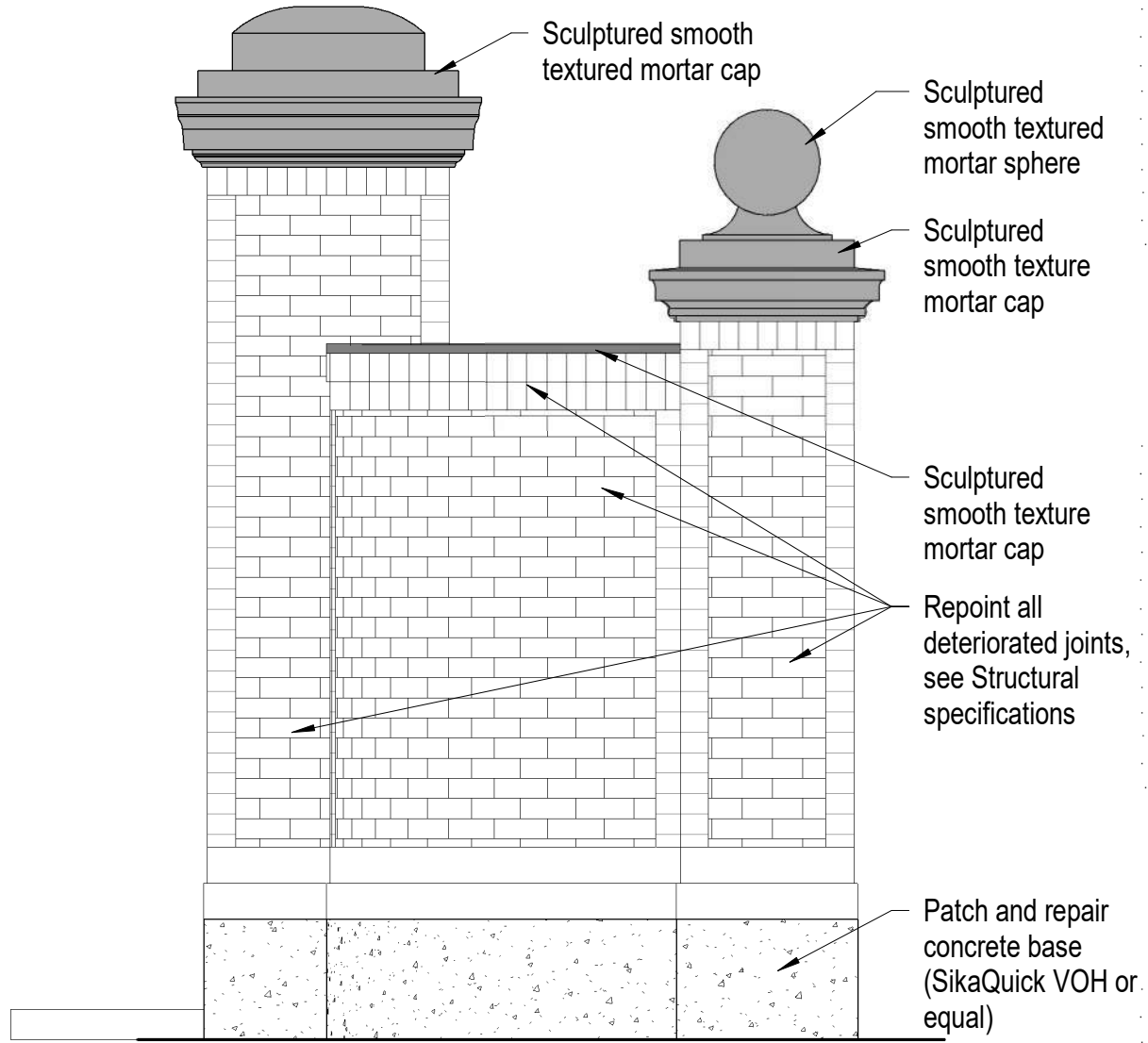
A5 Sculptured Mortar Cap Plan  
1" = 1'-0"



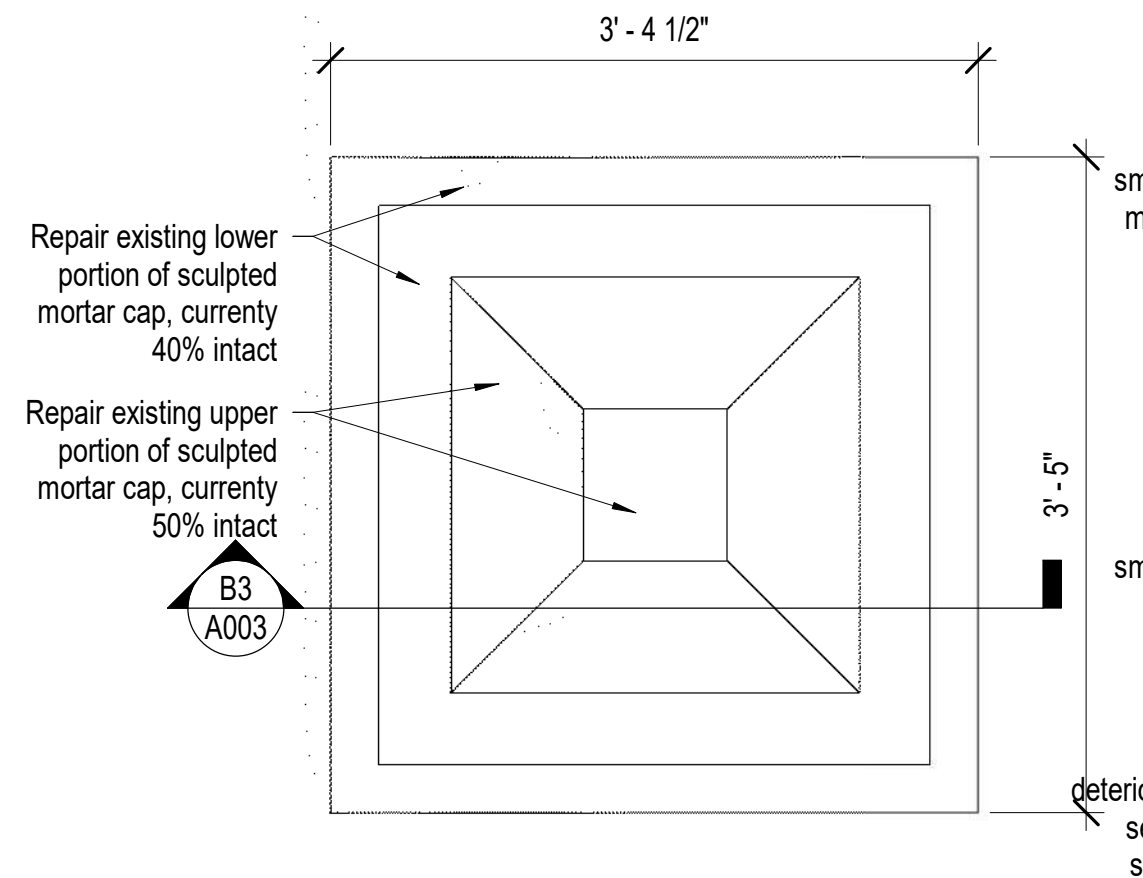
A4 Sculpture Mortar Cap Detail  
1" = 1'-0"



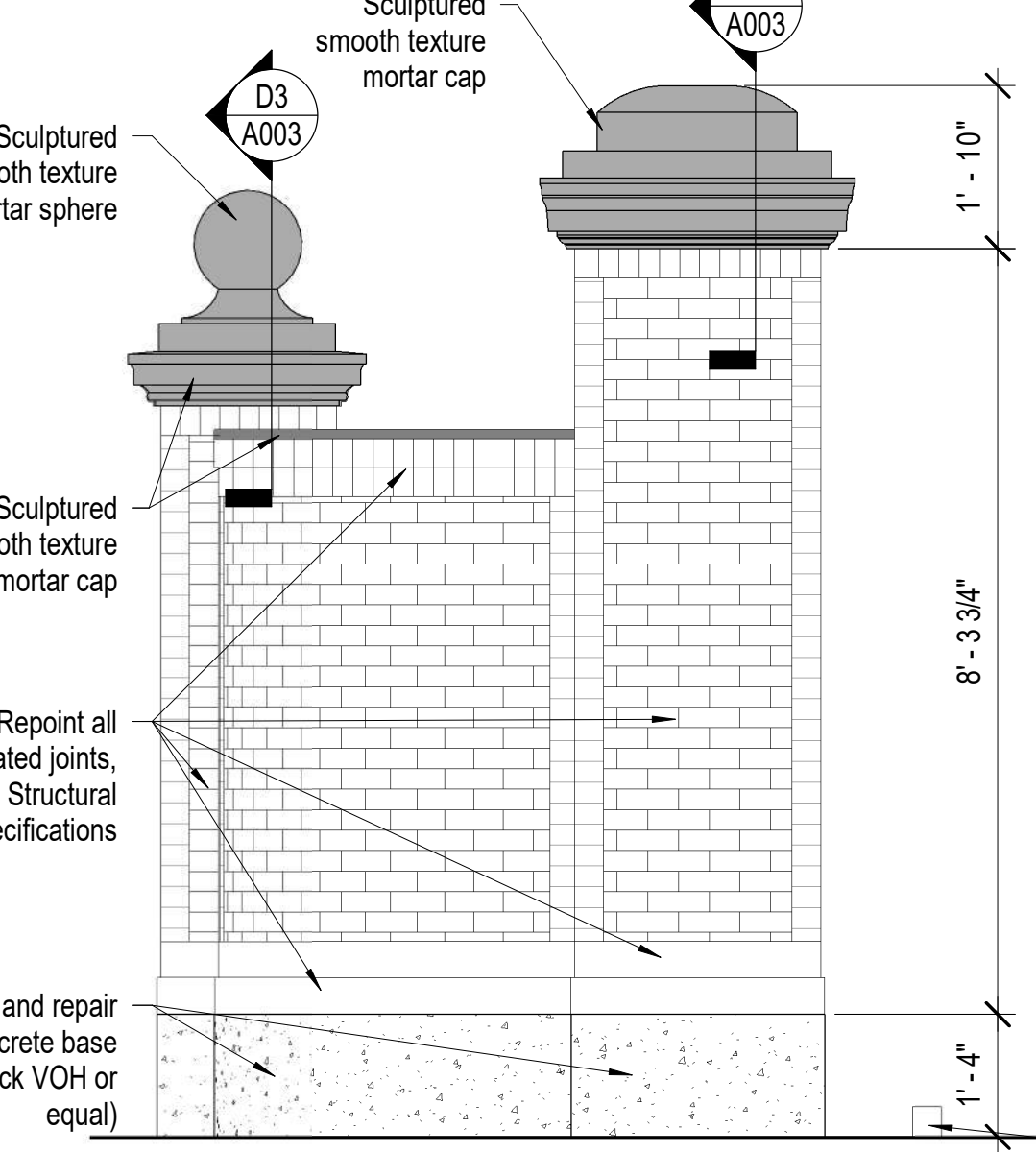
A3 Sculpture Mortar Sphere Detail  
1" = 1'-0"



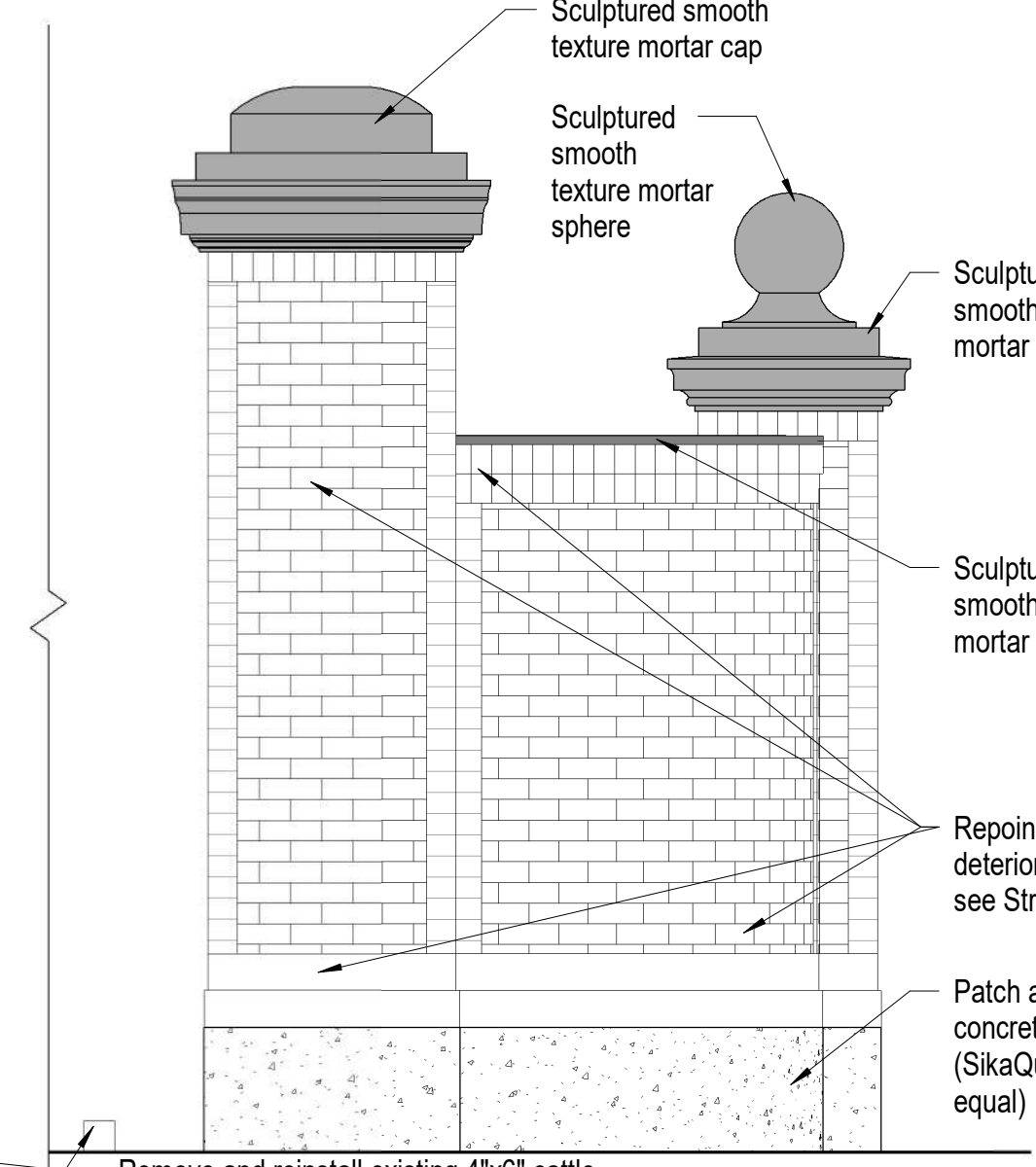
A2 Entry Gateway - East Elevation  
1/2" = 1'-0"



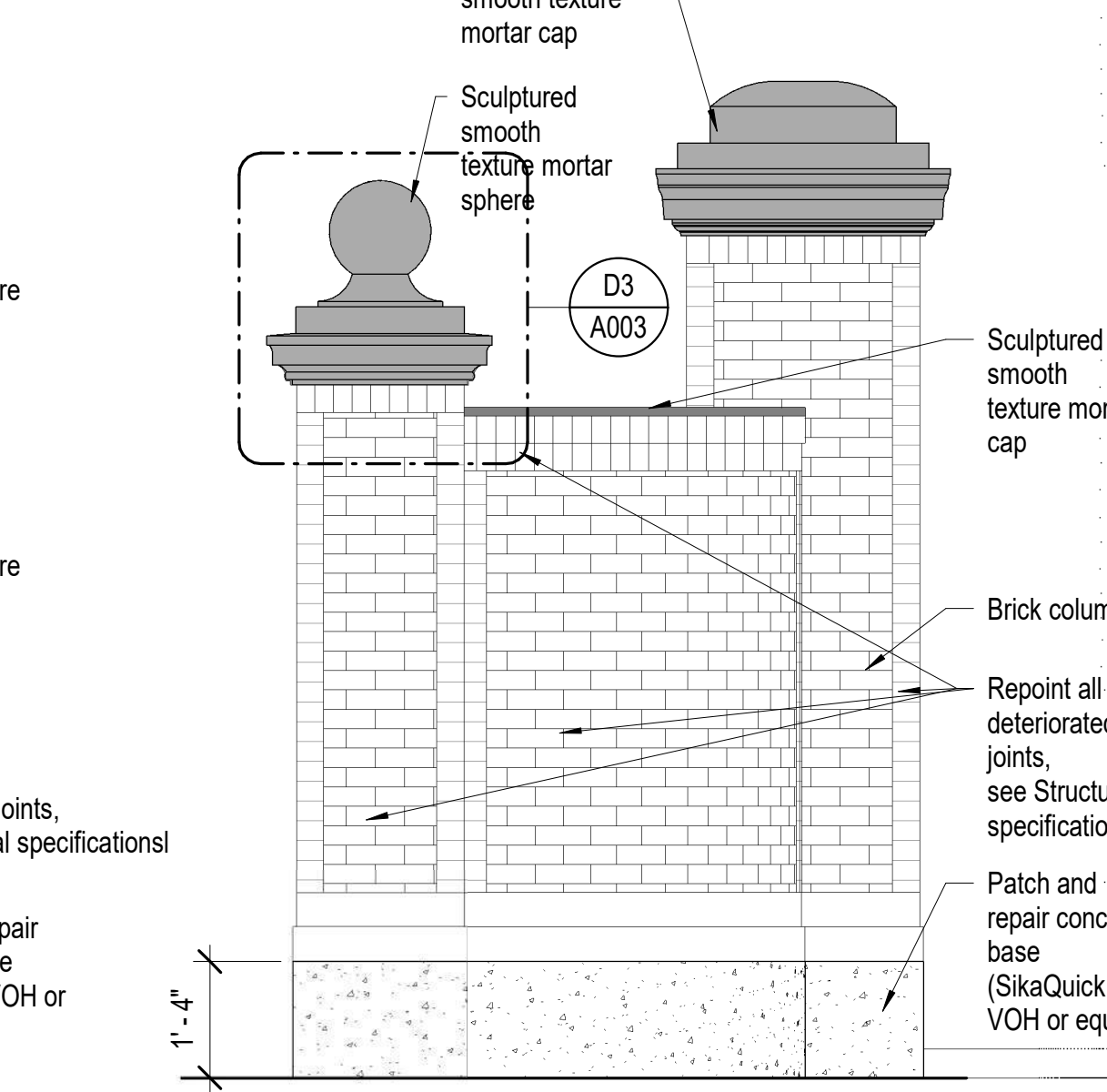
B5 Sculptured Mortar Cap Plan  
1" = 1'-0"



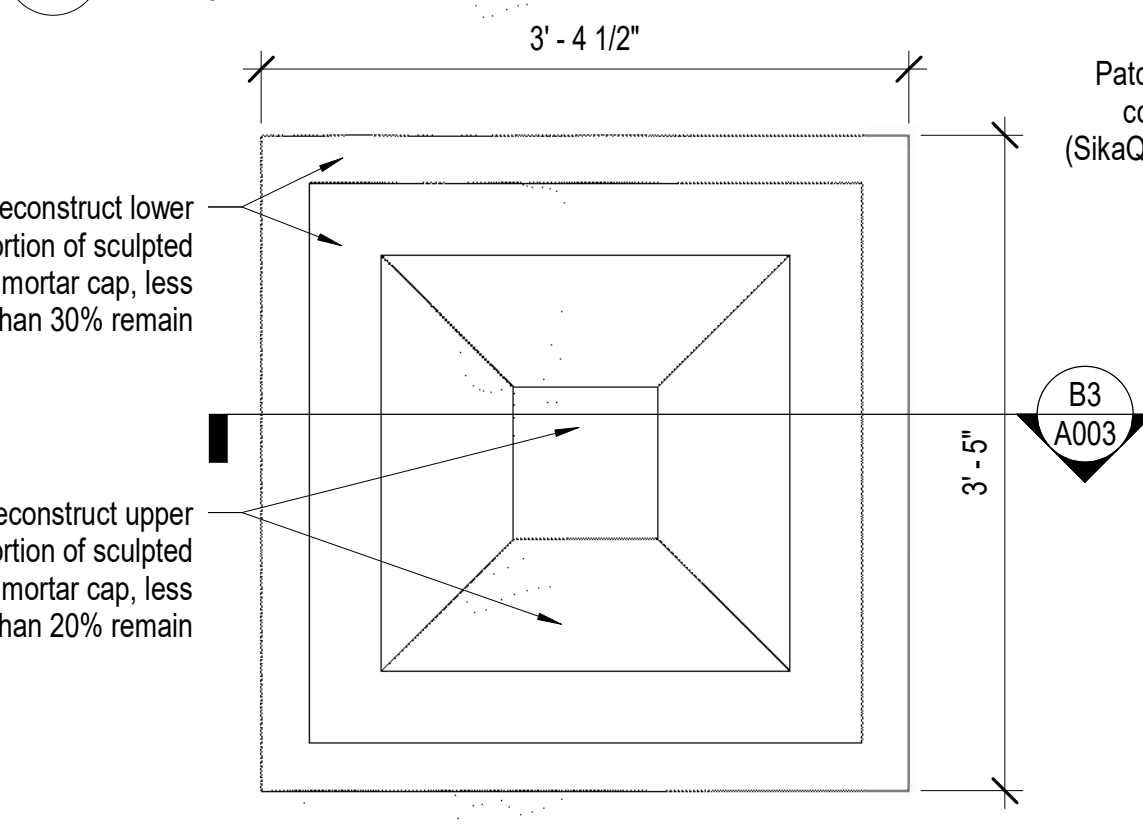
C4 Entry Gateway - South Elevation  
1/2" = 1'-0"



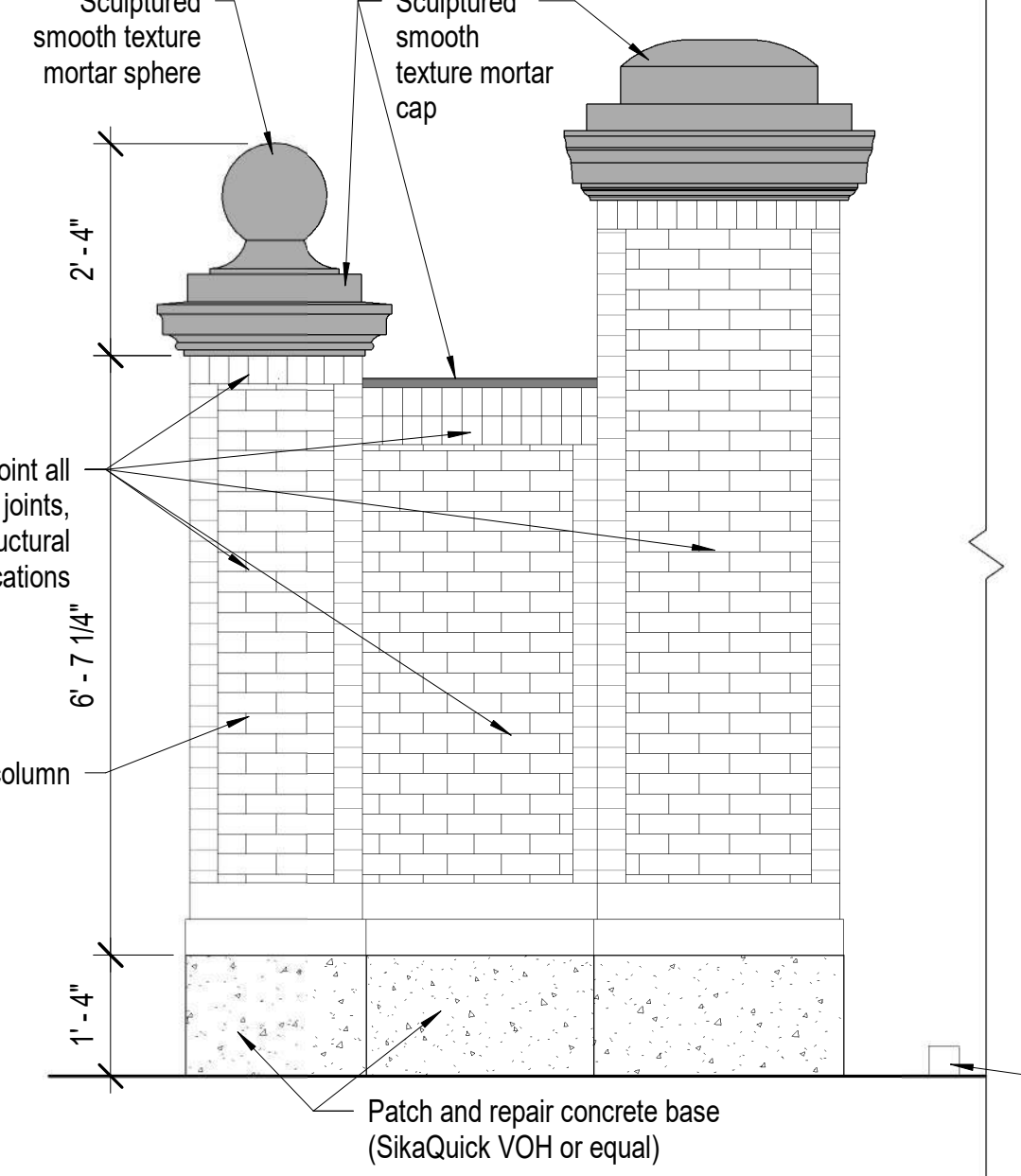
A3 Sculpture Mortar Sphere Detail  
1" = 1'-0"



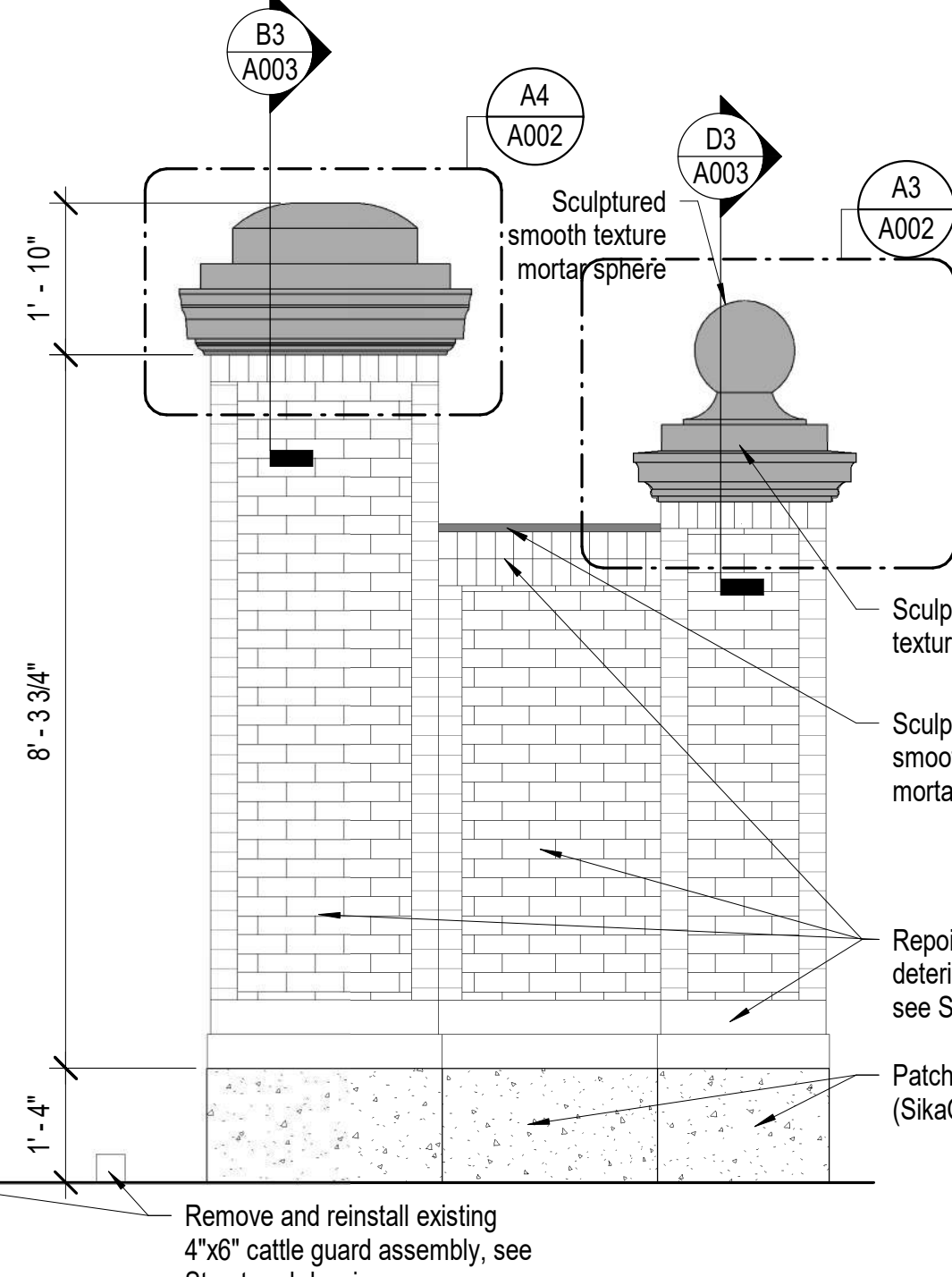
C2 Entry Gateway - West Elevation  
1/2" = 1'-0"



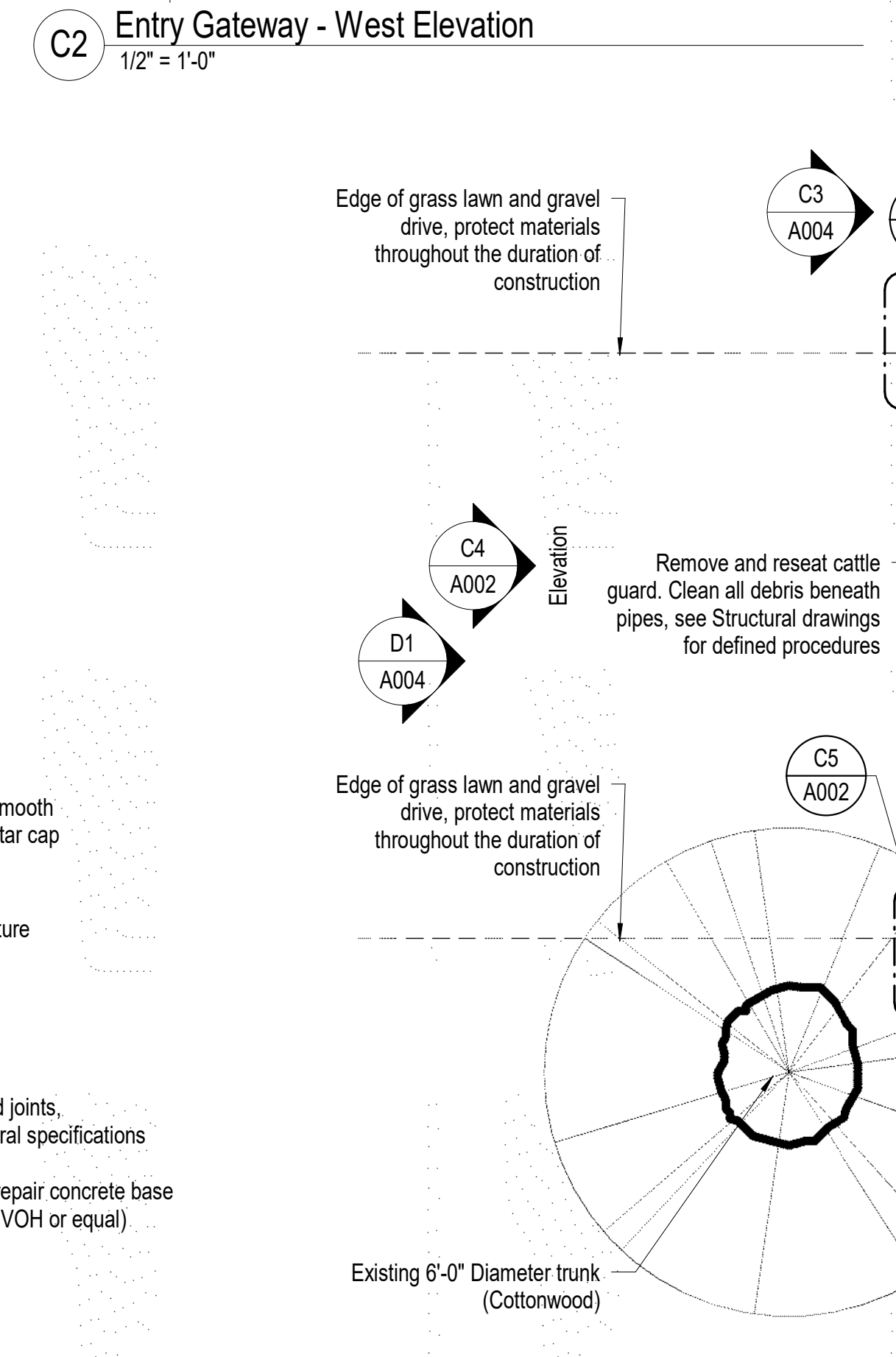
C5 Sculptured Mortar Cap Plan  
1" = 1'-0"



D4 Entry Gateway - North Elevation  
1/2" = 1'-0"



A4 Sculpture Mortar Cap Detail  
1" = 1'-0"



D2 Entry Gateway Plan  
1/4" = 1'-0"

## Entry Gateway Notes

- Coordinate construction operations, schedule and sequencing with Douglas County Community Services Project Manager and Dangberg Ranch Curator. User will occupy the site during construction operations.
- The Contractor shall be responsible for setting the exact limits of demolition and alteration required in order to perform the work.
- The Contractor shall maintain a clean and organized environment during all construction operations and shall conduct a final cleaning of entire area of work at the conclusion of the project.
- The Contractor shall protect existing vegetation, finishes and historical features from construction traffic, cutting, and all construction activities.
- The Contractor will be responsible for repairing any damage to the existing vegetation, finishes and due to construction activities related to the restoration project.
- Contractor shall limit work access to areas indicated during approved working hours and shall remove materials, tools and debris after construction hours.
- The General Contractor, General Contractor's project manager, and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
- The following preservation briefs shall be used and followed for the execution of work at the Entry Gateway:
  - Cleaning and Water Repellent Treatments:**  
Carefully follow recommended procedures in this brief in washing the entry gateway from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.
  - Repointing Mortar Joints:**  
The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.
- Refer to Project Manual and Specifications for additional information and requirements.
- Refer to photos of existing conditions on sheet A003 and A004.
- Coordinate with Dangberg Ranch Curator for quantity and location of existing brick that may be re-used for masonry replacement.
- See Structural drawings and specifications.

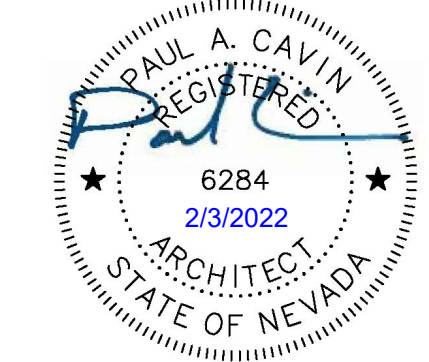
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drawing name

## Entry Gateway Floor Plan

sheet number

A002





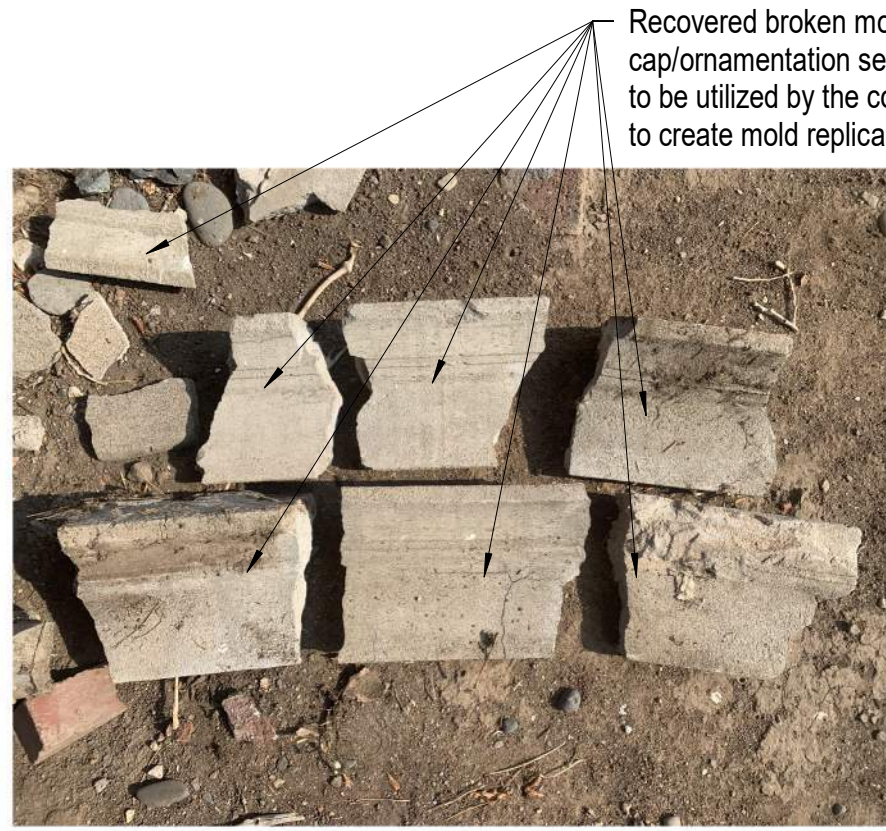
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A4 Photo of Existing Conditions (Entry Gateway)  
Not to Scale



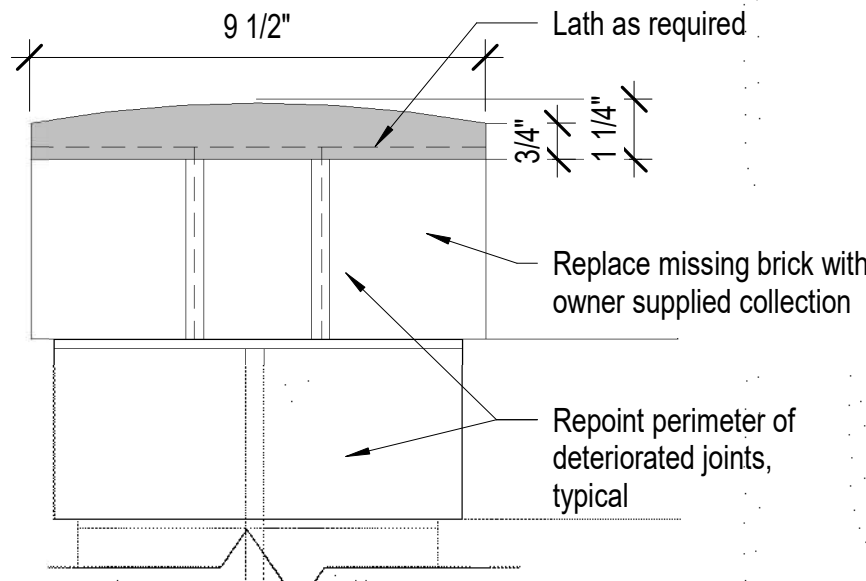
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Not to Scale



B4 Photo of Existing Conditions (Entry Gateway)  
Not to Scale



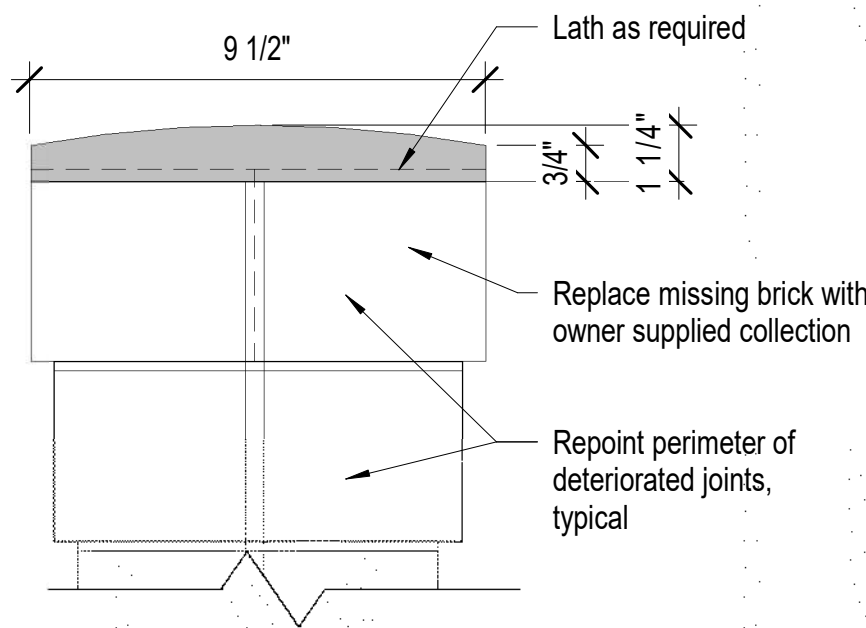
C5 Photo of Existing Conditions (Entry Gateway)  
Not to Scale



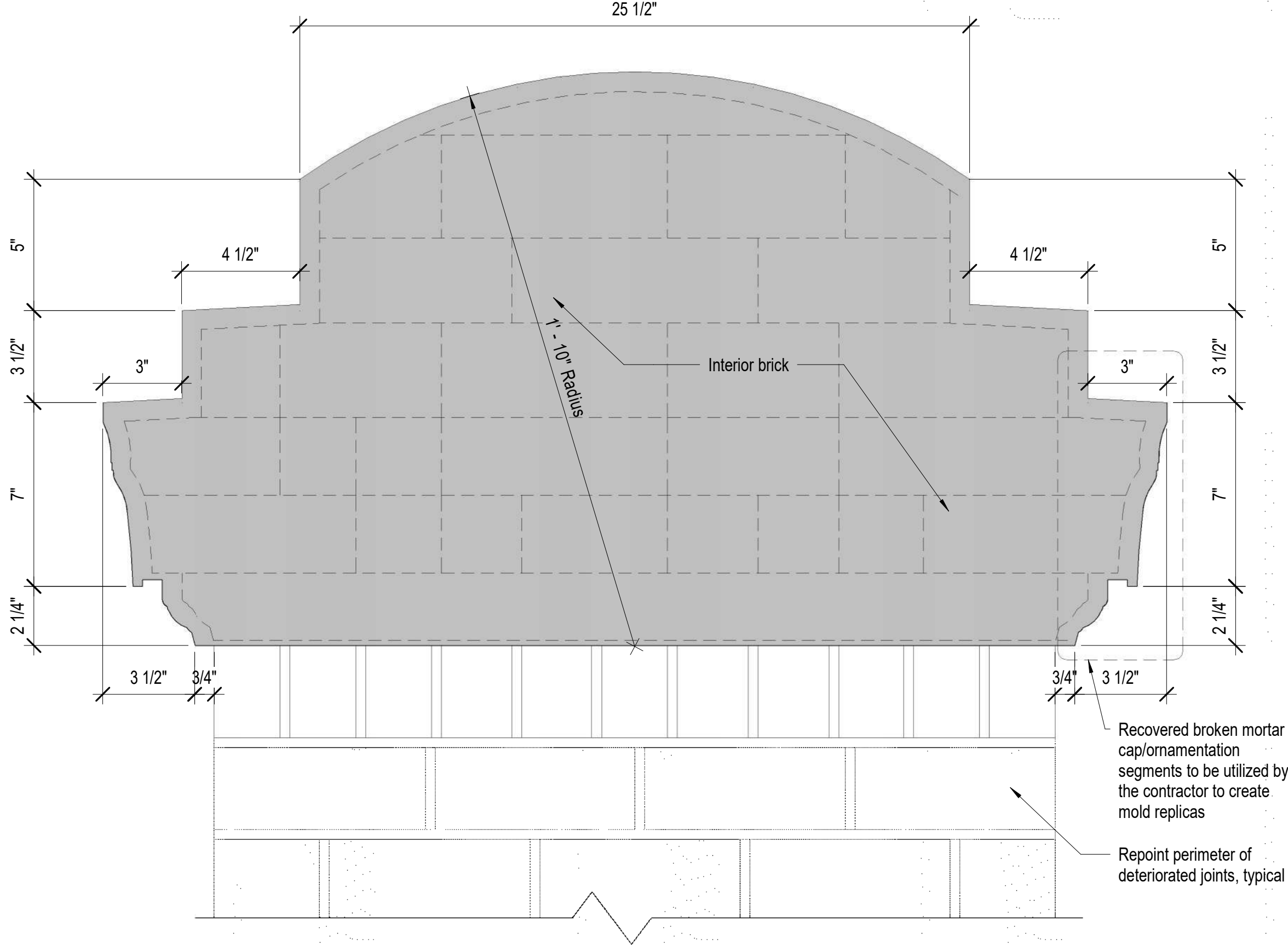
C4 Low Mortar Cap Section  
3" = 1'-0"



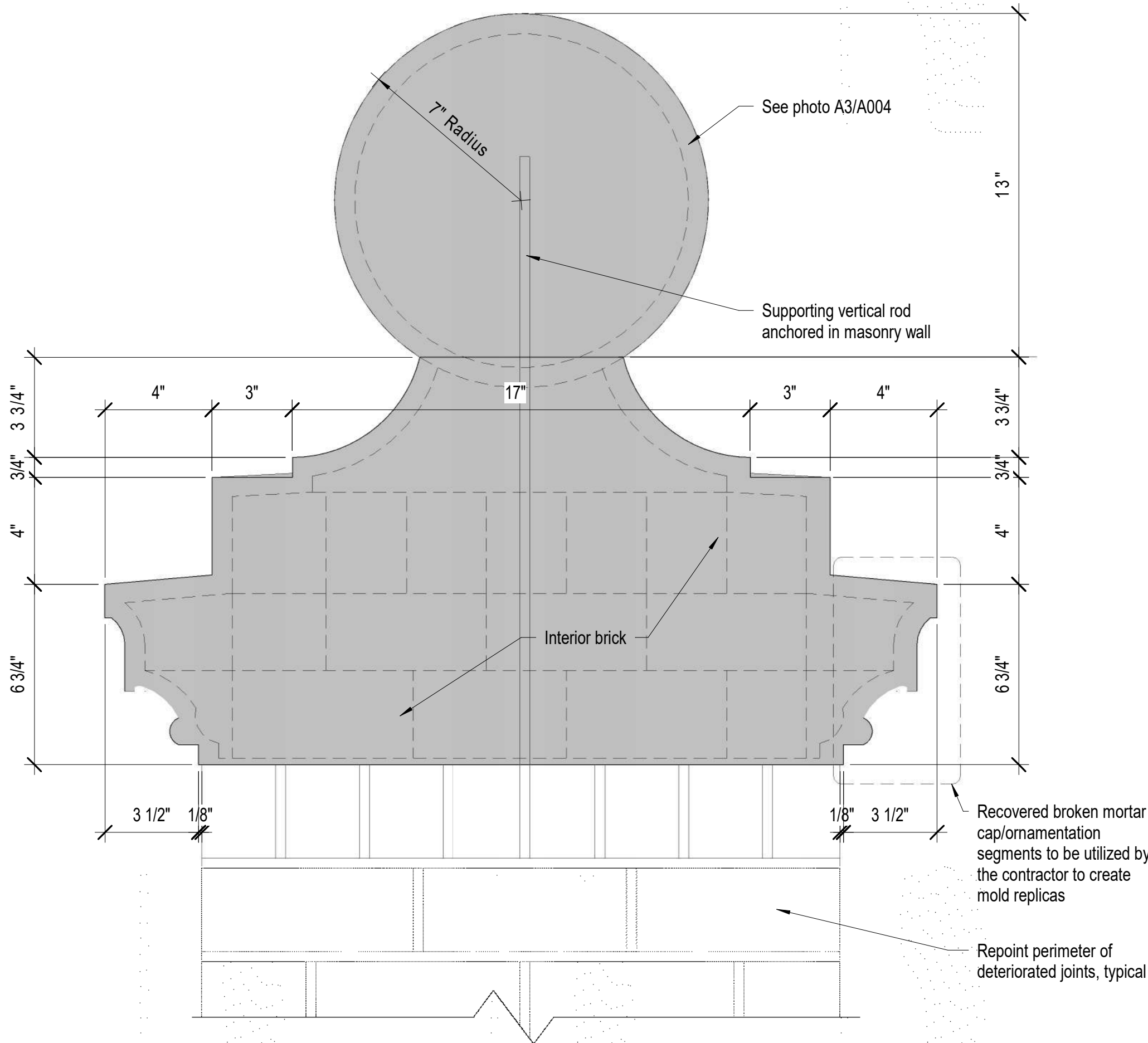
D5 Photo of Existing Conditions (Entry Gateway)  
Not to Scale



D4 Low Mortar Cap Section  
3" = 1'-0"



B3 Mortar Cap Section  
3" = 1'-0"



D3 Sphere Mortar Cap Section  
3" = 1'-0"

## Entry Gateway Notes

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- Refer to Project Manual and Specifications for additional information and requirements.
- Refer to photos of existing conditions on sheet A003 and A004.
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- See Structural drawings and specifications.

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drawn by MLM  
reviewed by PAC  
date 2/10/2022  
project number 21018  
drawing name

## Mortar Column Cap Details

sheet number

A003



Existing deteriorated sculptured mortar cap

Repoint perimeter of deteriorated joints, typical

Existing lilac bush

Portion of existing brick to utilize for rebuilding the Gateway Entry coordinate with Dangberg Ranch Curator for quantity and location of existing brick

Existing deteriorated sculptured mortar cap

Existing deteriorated sculptured mortar sphere

Existing concrete base

Existing deteriorated sculptured mortar cap

Existing deteriorated sculptured mortar sphere

Existing deteriorated sculptured mortar cap

Repoint perimeter of deteriorated joints, typical

Existing deteriorated sculptured mortar cap

Repoint perimeter of deteriorated joints, typical

Existing deteriorated sculptured mortar sphere

Existing deteriorated sculptured mortar cap

Repoint perimeter of deteriorated joints, typical

Existing 6' diameter cotton wood tree

Existing lilac bush to be removed by Curator

Patch and repair concrete base (SikaQuick VOH or equal)

Existing deteriorated sculptured mortar cap

Existing lilac bush

Existing deteriorated sculptured mortar sphere

Existing deteriorated sculptured mortar cap

Existing deteriorated sculptured mortar cap

Repoint perimeter of deteriorated joints, typical

Existing deteriorated sculptured mortar sphere

Existing lilac bush to be removed by Curator

Remove and reinstall existing 4"x6" cattle guard assembly, see Structural drawings

Remove and reseal cattle guard. Clean all debris beneath pipes, see Structural drawings for defined procedures

Existing 6' diameter cotton wood tree

Existing deteriorated sculptured mortar cap

Repoint perimeter of deteriorated joints, typical

Replace missing brick with owner supplied collection

Existing deteriorated sculptured mortar cap

Repoint perimeter of deteriorated joints, typical

Existing 6' diameter cotton wood tree

Existing deteriorated sculptured mortar sphere

Patch and repair concrete base (SikaQuick VOH or equal)

Existing deteriorated sculptured mortar cap

Existing lilac bush

Repoint perimeter of deteriorated joints, typical

Replace missing brick with owner supplied collection

Existing deteriorated sculptured mortar sphere

Existing deteriorated sculptured mortar cap

Repoint perimeter of deteriorated joints, typical

Existing lilac bushes

Patch and repair concrete base (SikaQuick VOH or equal)

Existing deteriorated sculptured mortar sphere

Existing deteriorated sculptured mortar cap

Repoint perimeter of deteriorated joints, typical

Existing lilac bushes

Patch and repair concrete base (SikaQuick VOH or equal)

Existing deteriorated sculptured mortar sphere

Existing lilac bush to be removed by Curator

Repoint perimeter of deteriorated joints, typical

Replace missing brick

Existing deteriorated sculptured mortar cap

Repoint perimeter of deteriorated joints, typical

Existing deteriorated sculptured mortar sphere

Existing deteriorated sculptured mortar cap

Replace missing brick with owner supplied collection

Repoint perimeter of deteriorated joints, typical

Existing deteriorated sculptured mortar cap

Repoint perimeter of deteriorated joints, typical

Existing 6' diameter cotton wood tree

Existing deteriorated sculptured mortar sphere

Existing deteriorated sculptured mortar cap

Repoint perimeter of deteriorated joints, typical

Patch and repair concrete base (SikaQuick VOH or equal)

Existing deteriorated sculptured mortar sphere

Existing deteriorated sculptured mortar cap

Repoint perimeter of deteriorated joints, typical

Existing 6' diameter cotton wood tree

Edge of grass lawn and gravel drive, protect materials throughout the duration of construction

A5

Photo of Existing Conditions

Not to Scale

A4

Photo of Existing Conditions

Not to Scale

A3

Photo of Existing Conditions

Not to Scale

A2

Photo of Existing Conditions

Not to Scale

A1

Photo of Existing Conditions

Not to Scale

B5

Photo of Existing Conditions

Not to Scale

B4

Photo of Existing Conditions

Not to Scale

B3

Photo of Existing Conditions (Entry Gateway)

Not to Scale

B2

Photo of Existing Conditions

Not to Scale

B1

Photo of Existing Conditions

Not to Scale

C5

Photo of Existing Conditions

Not to Scale

C4

Photo of Existing Conditions

Not to Scale

1

Photo of Existing Conditions (Entry Gateway)

Not to Scale

C2

Photo of Existing Conditions

Not to Scale

C1

Photo of Existing Conditions

Not to Scale

D5

Photo of Existing Conditions

Not to Scale

D4

Photo of Existing Conditions

Not to Scale

C3

Photo of Existing Conditions

Not to Scale

D2

Photo of Existing Conditions

Not to Scale

D1

Photo of Existing Conditions

Not to Scale

**Paul Cavin Architect LLC**

1575 Delucchi Lane, Suite 120  
Reno, Nevada 89502

office: (775) 284-7083  
mobile: (775) 842-0261

www.paulcavindesign.com  
paul@paulcavindesign.com

professional seal

PAUL A. CAVIN  
REGISTERED ARCHITECT  
6284  
2/3/2022  
STATE OF NEVADA

consultant

project

**Dangberg Home Ranch Restoration Projects**

Dangberg Home Ranch  
1450 NV-88  
Minden, Nevada 89423

revisions

No.	Description	Date

drawn by MLM

reviewed by PAC

date 2/10/2022

project number 21018

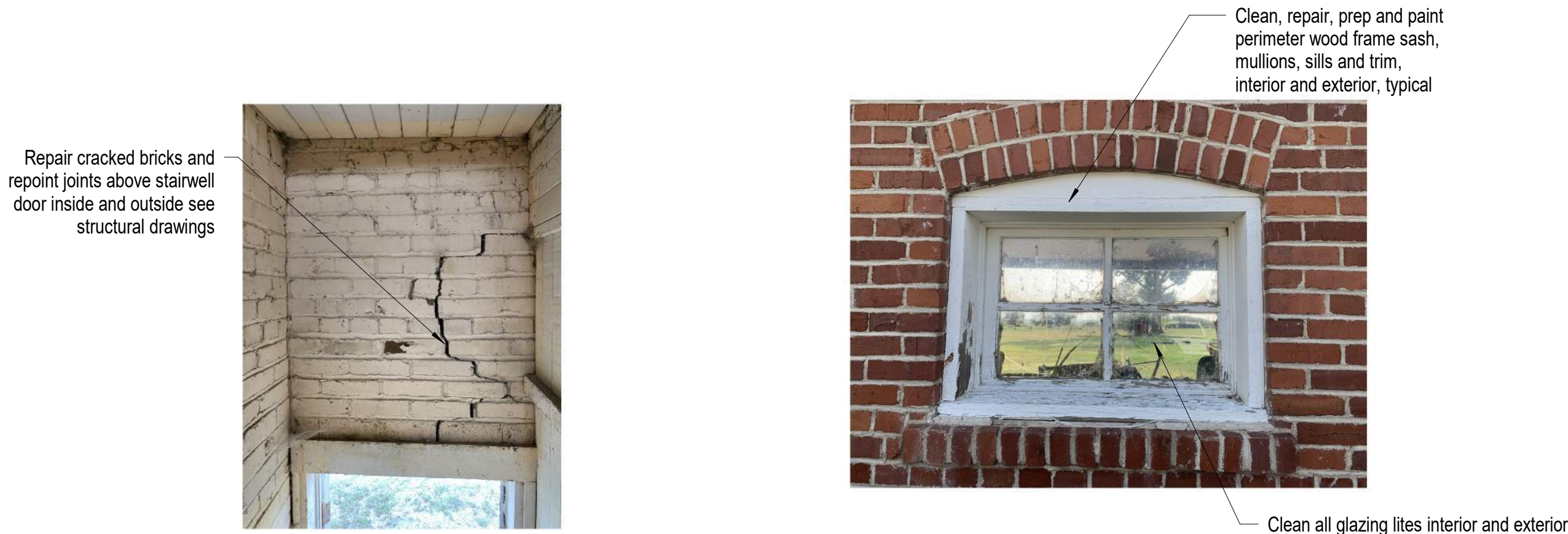
drawing name

**Gateway - Photos of Existing Condition**

sheet number

**A004**





A5 Photo of Existing Conditions (Carriage House)  
Not to Scale

A4 Photo of Existing Conditions (Carriage House)  
Not to Scale

A3 Photo of Existing Conditions (Carriage House)  
Not to Scale



B5 Photo of Existing Conditions (Carriage House)  
Not to Scale

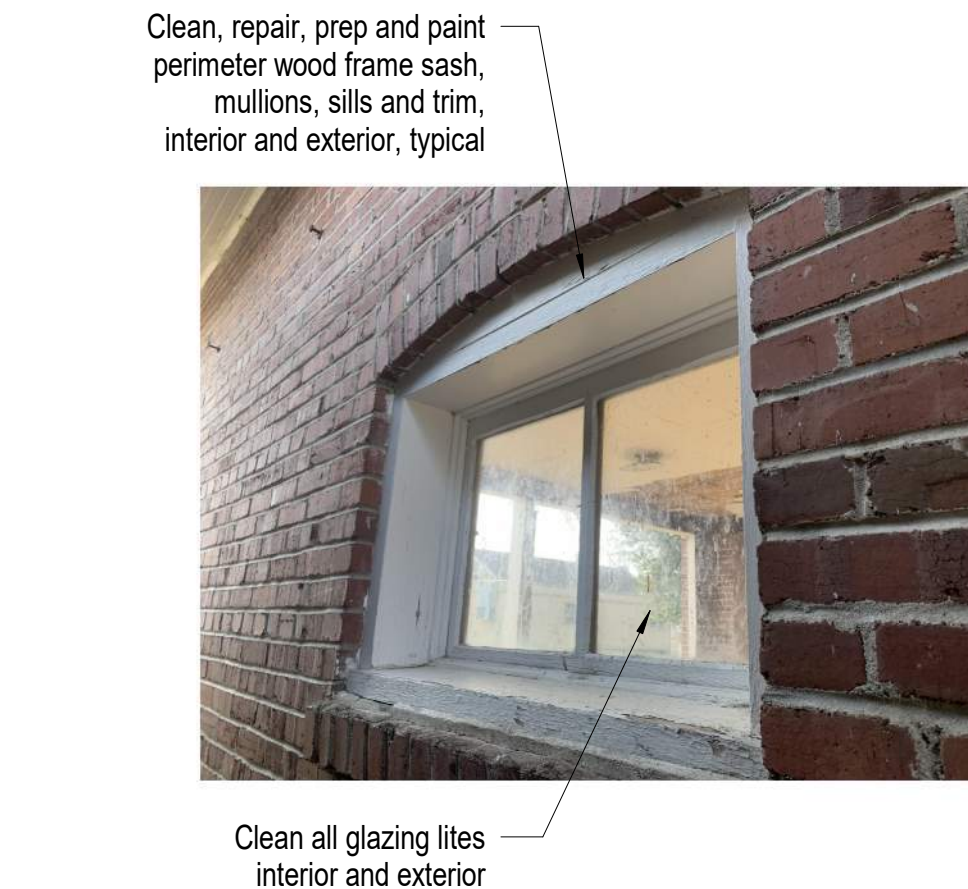
B4 Photo of Existing Conditions (Carriage House)  
Not to Scale

B3 Photo of Existing Conditions (Carriage House)  
Not to Scale



C5 Photo of Existing Conditions (Carriage House)  
Not to Scale

C4 Photo of Existing Conditions (Carriage House)  
Not to Scale

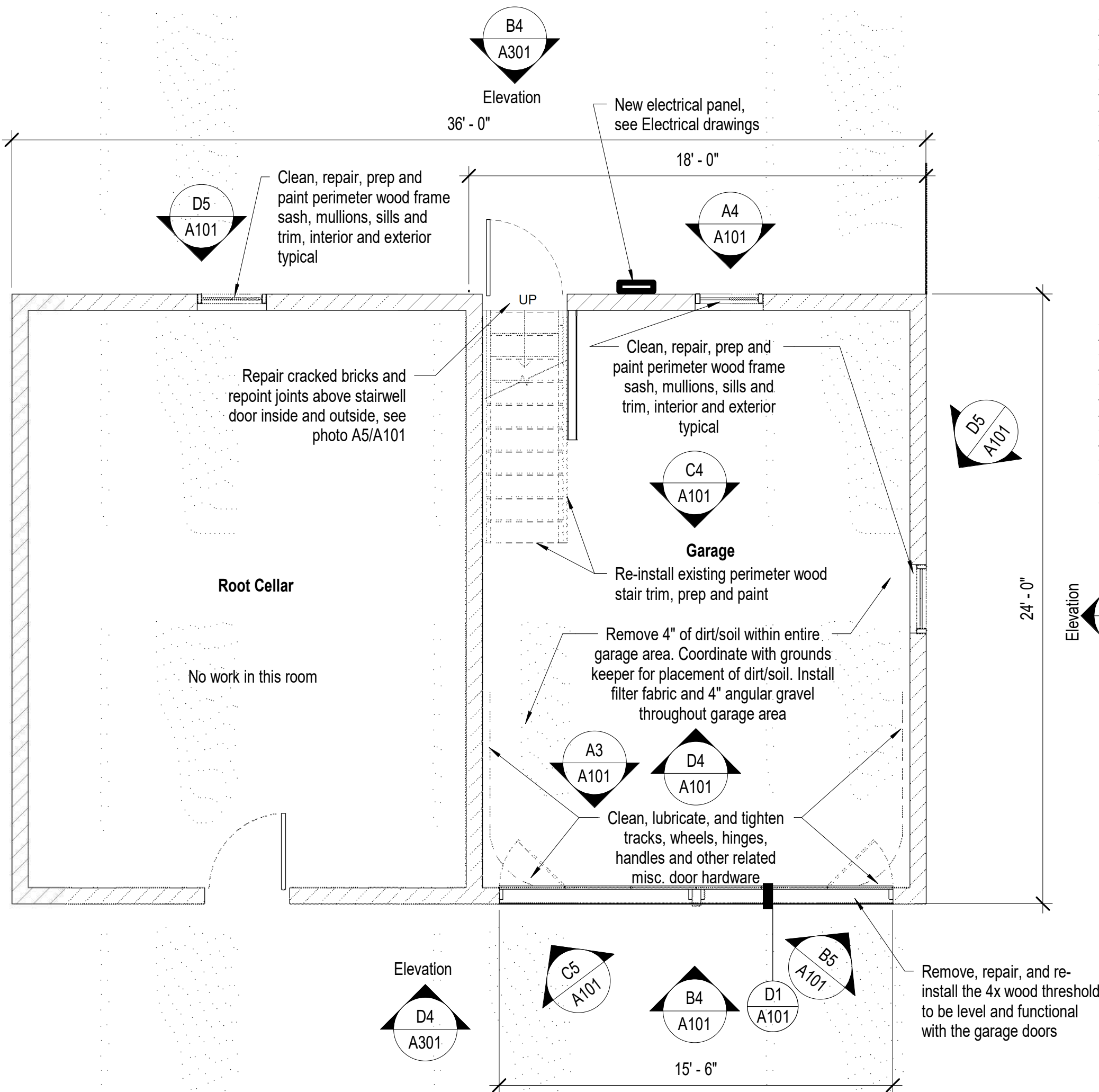


D5 Photo of Existing Conditions (Carriage House)  
Not to Scale



D4 Photo of Existing Conditions (Carriage House)  
Not to Scale

D3 Carriage House Floor Plan  
1/4" = 1'-0"



## Carriage House Notes

- Coordinate construction operations, schedule and sequencing with Douglas County Community Services Project Manager and Dangberg Ranch Curator. User will occupy the site during construction operations.
- The Contractor shall be responsible for setting the exact limits of demolition required in order to perform the work.
- The Contractor shall maintain a clean environment during all construction operations and shall conduct a final cleaning of entire area of work at the conclusion of the project.
- The Contractor shall protect existing vegetation, finishes and historical features from construction traffic, cutting and all construction activities.
- The Contractor will be responsible for repairing any damage to the existing vegetation, finishes and due to construction activities related to the restoration project.
- Contractor shall limit work access to areas indicated during approved working hours and shall remove materials, tools and debris after construction hours.
- The General Contractor, General Contractor's project manager, and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
- Refer to Project Manual and Specifications for additional information and requirements.
- See Structural drawings and specifications for additional information and requirements.
- See Electrical drawings and specifications for additional information and requirements.
- The following preservation briefs shall be used and followed for the execution of work at the Carriage House:

1. Cleaning and Water Repellent Treatments:  
Carefully follow recommended procedures in this brief in washing the Carriage House from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.

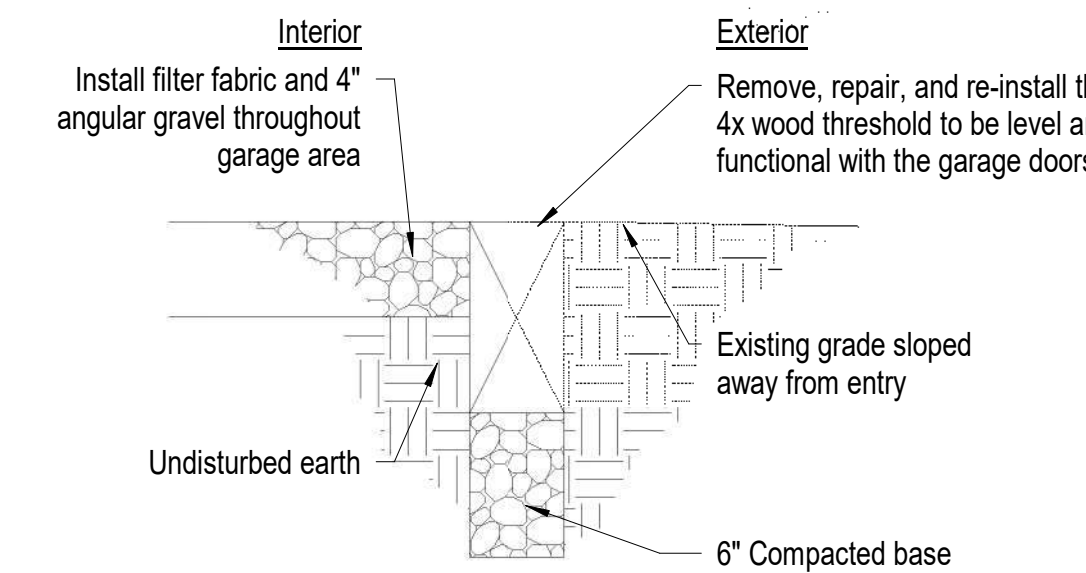
2. Repointing Mortar Joints:  
The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.

9. The Repair of Historic Wooden Windows:  
The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damage glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.

21. Repairing Historic Flat Plaster Walls and Ceilings:  
The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a two-coat process to patch and hide plaster repairs.

28. Painting Historic Interiors:  
The contractor to use this brief as a guideline in preparing the interiors for re-painting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

- See sheet A301 and A302 for the Carriage House exterior elevations.
- See sheet A501 for the Carriage House reflected ceiling plan.
- Dangberg Curator to remove over grown vegetation and other items adjacent to the building.
- See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of damaged wood.



D1 Threshold Detail  
1 1/2" = 1'-0"

## Paul Cavin Architect LLC

1575 Delucchi Lane, Suite 120  
Reno, Nevada 89502

office: (775) 284-7083  
mobile: (775) 842-0261

www.paulcavindesign.com  
paul@paulcavindesign.com



consultant

project

Dangberg Home Ranch  
Restoration Projects  
Dangberg Home Ranch  
1450 NV-88  
Minden, Nevada 89423

revisions		
No.	Description	Date

drawn by MLM  
reviewed by PAC  
date 2/10/2022  
project number 21018  
drawing name

## Carriage House Floor Plan

sheet number

# A101

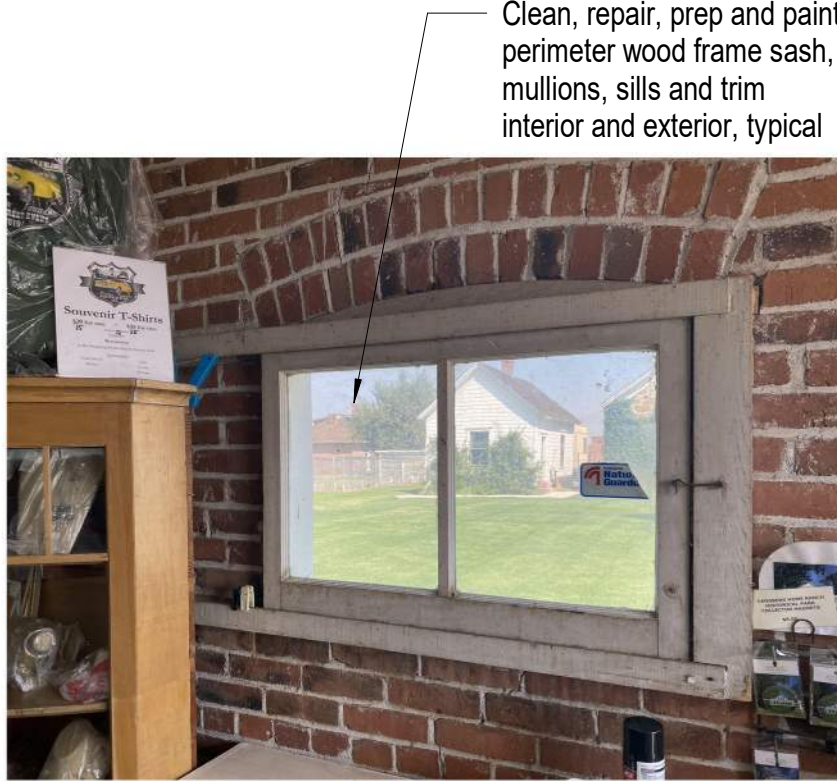




A5 Photo of Existing Conditions (Garage)  
Not to Scale



A4 Photo of Existing Conditions (Garage)  
Not to Scale



A3 Photo of Existing Conditions (Garage)  
Not to Scale



A2 Photo of Existing Conditions  
Not to Scale



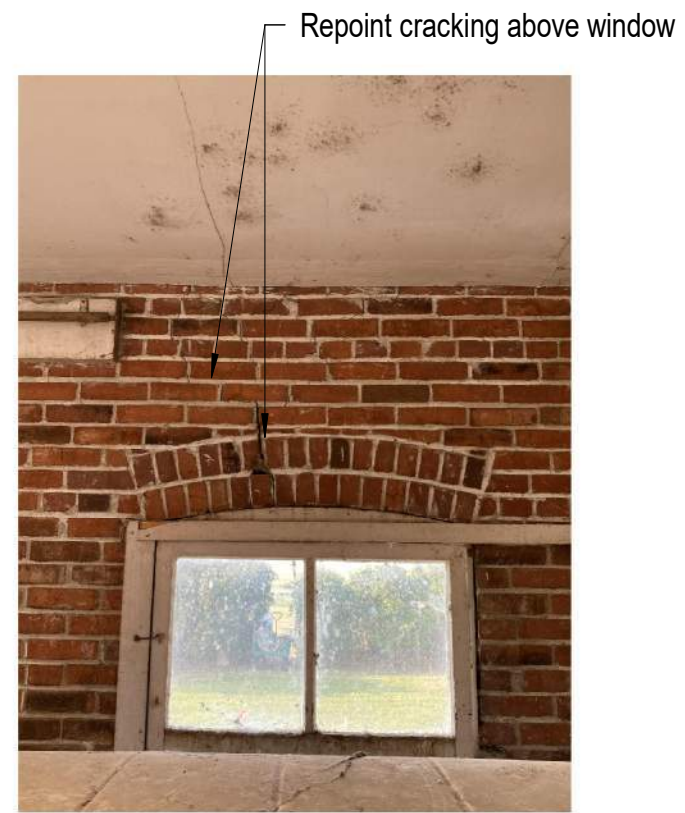
B5 Photo of Existing Conditions (Garage)  
Not to Scale



B4 Photo of Existing Conditions (Garage)  
Not to Scale



B3 Photo of Existing Conditions (Garage)  
Not to Scale



C5 Photo of Existing Conditions (Garage)  
Not to Scale



C4 Photo of Existing Conditions (Garage)  
Not to Scale



C3 Photo of Existing Conditions (Garage)  
Not to Scale



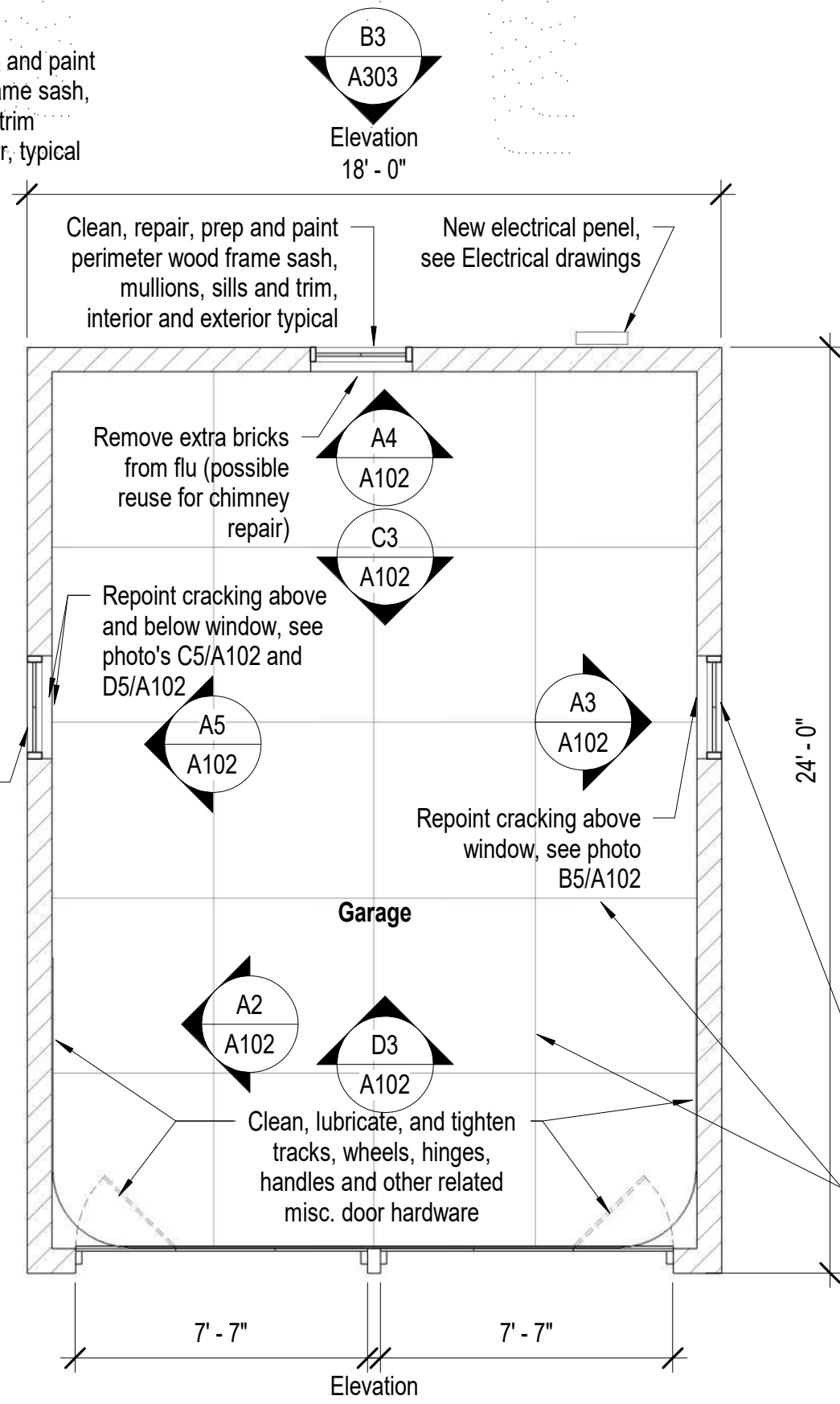
D5 Photo of Existing Conditions (Garage)  
Not to Scale



D4 Photo of Existing Conditions (Garage)  
Not to Scale



D3 Photo of Existing Conditions (Garage)  
Not to Scale



D2 Garage Floor Plan  
1/4" = 1'-0"

## Garage Notes

1. Coordinate construction operations, schedule and sequencing with Douglas County Community Services Project Manager and Dangberg Ranch Curator. User will occupy the site during construction operations.
2. The Contractor shall be responsible for setting the exact limits of demolition required in order to perform the work.
3. The Contractor shall maintain a clean environment during all construction operations and shall conduct a final cleaning of entire area of work at the conclusion of the project.
4. The Contractor shall protect existing vegetation, finishes and historical features from construction traffic, cutting and all construction activities.
5. The Contractor will be responsible for repairing any damage to the existing vegetation, finishes and due to construction activities related to the restoration project.
6. Contractor shall limit work access to areas indicated during approved working hours and shall remove materials, tools and debris after construction hours.
7. The General Contractor, General Contractor's project manager, and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
8. Refer to Project Manual and Specifications for additional information and requirements.
9. See Structural drawings and specifications for additional information and requirements.
10. See Electrical drawings and specifications for additional information and requirements.
11. The following preservation briefs shall be used and followed for the execution of work at the Garage:

1. Cleaning and Water Repellant Treatments:  
Carefully follow recommended procedures in this brief in washing the Garage from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.

2. Repointing Mortar Joints:  
The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.

9. The Repair of Historic Wooden Windows:  
The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damage glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.

21. Repairing Historic Flat Plaster Walls and Ceilings:  
The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a two-coat process to patch and hide plaster repairs.

28. Painting Historic Interiors:  
The contractor to use this brief as a guideline in preparing the interiors for re-painting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

12. See sheet A303 and A304 for the Garage exterior elevations.
13. See sheet A502 for the Garage reflected ceiling plan.
14. Dangberg Curator to remove over grown vegetation and other items adjacent to the building.
15. See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of damaged wood.

## Paul Cavin Architect LLC

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Reno, Nevada 89502

office: (775) 284-7083  
mobile: (775) 842-0261

www.paulcavindesign.com  
paul@paulcavindesign.com



consultant

project

Dangberg Home Ranch  
Restoration Projects  
Dangberg Home Ranch  
1450 NV-88  
Minden, Nevada 89423

revisions		
No.	Description	Date

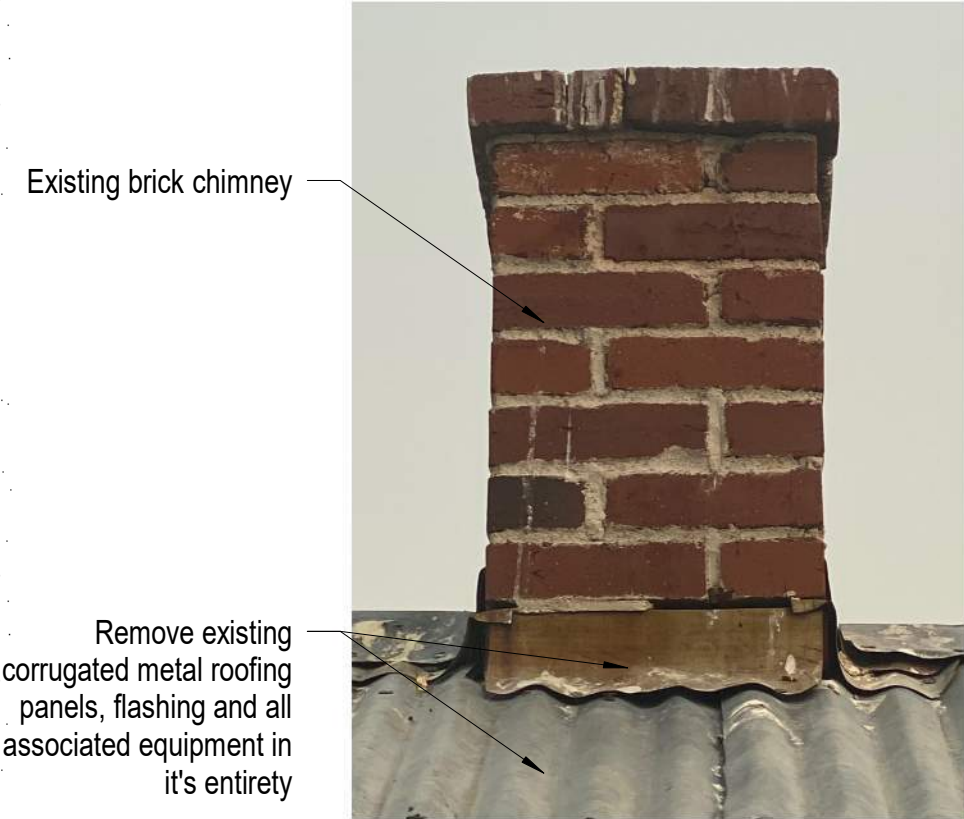
drawn by MLM  
reviewed by PAC  
date 2/10/2022  
project number 21018  
drawing name

## Garage Floor Plan

sheet number

A102





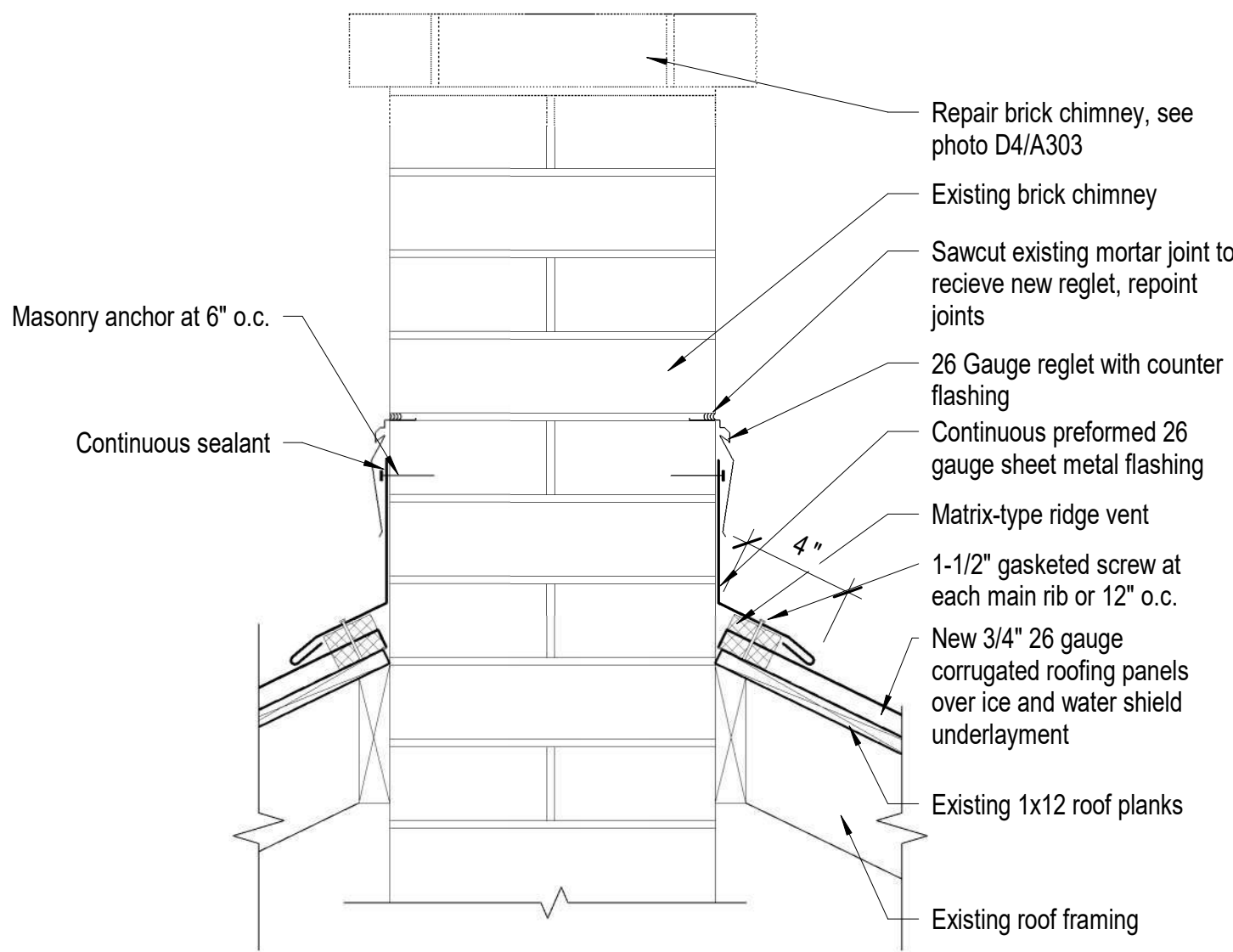
A4 Photo of Existing Conditions (Garage)  
12" = 1'-0"



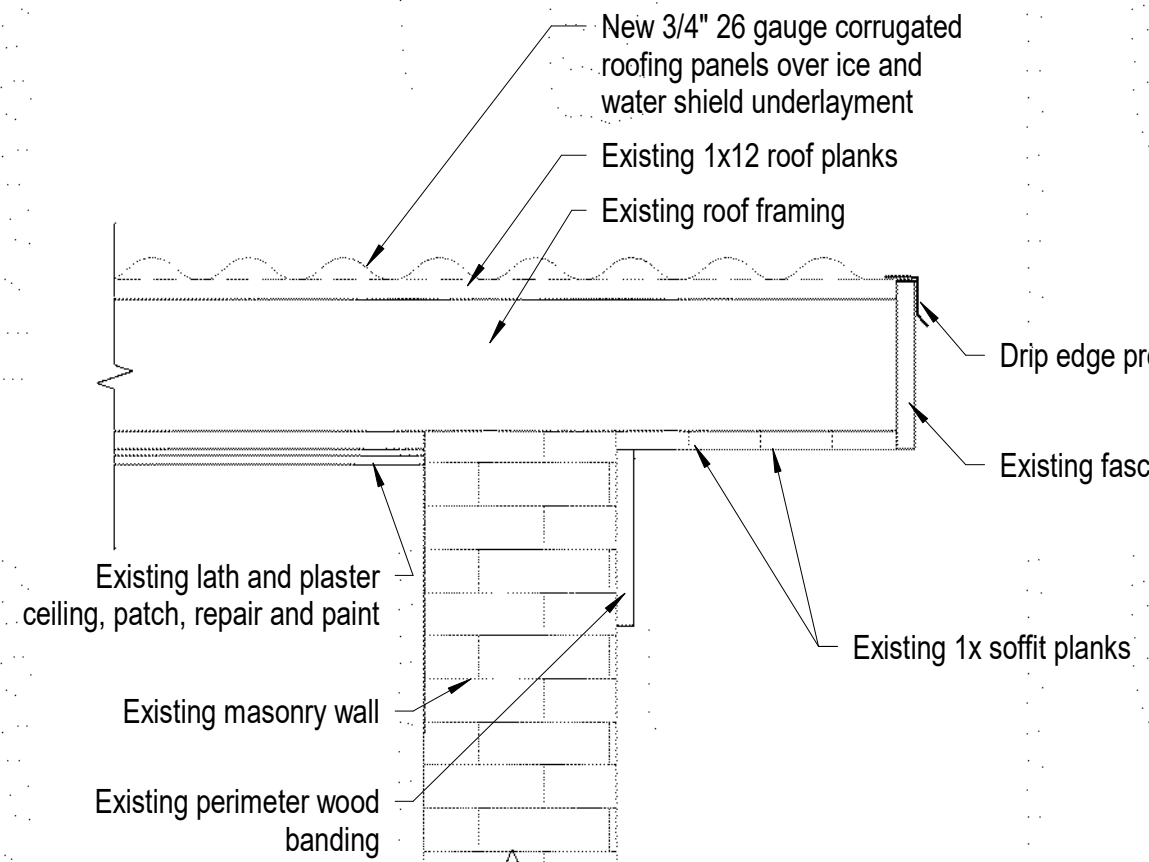
A3 Photo of Existing Conditions (Garage)  
12" = 1'-0"



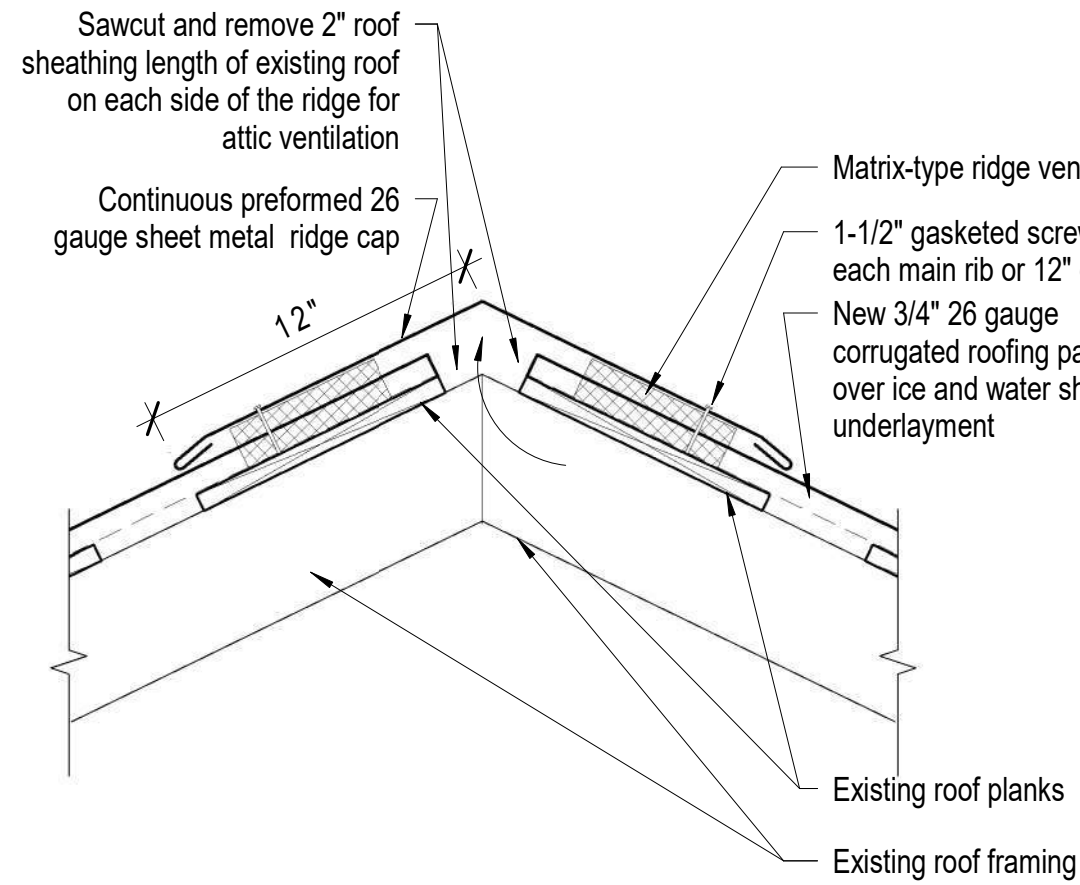
B3 Photo of Existing Conditions (Garage)  
12" = 1'-0"



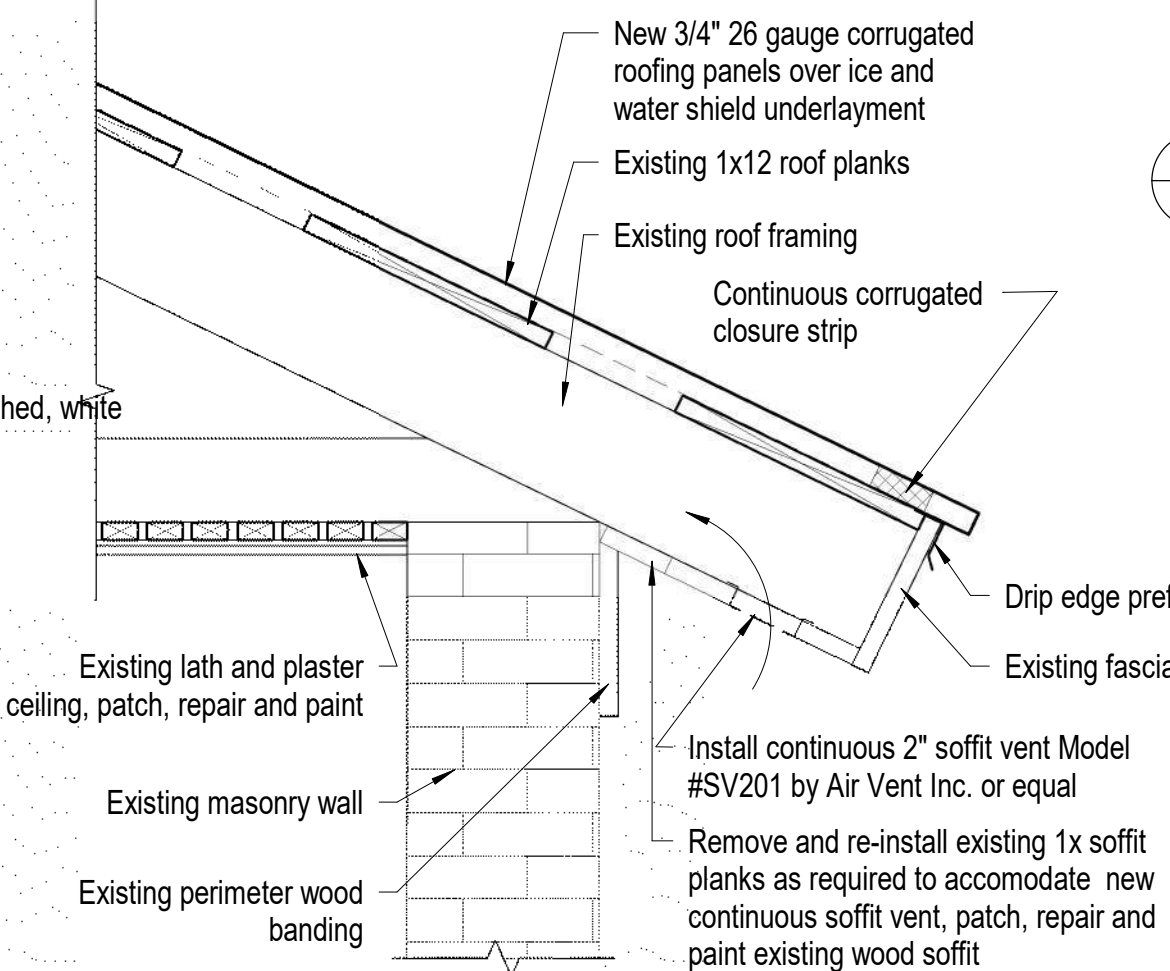
C4 Chimney Ridge Detail  
1 1/2" = 1'-0"



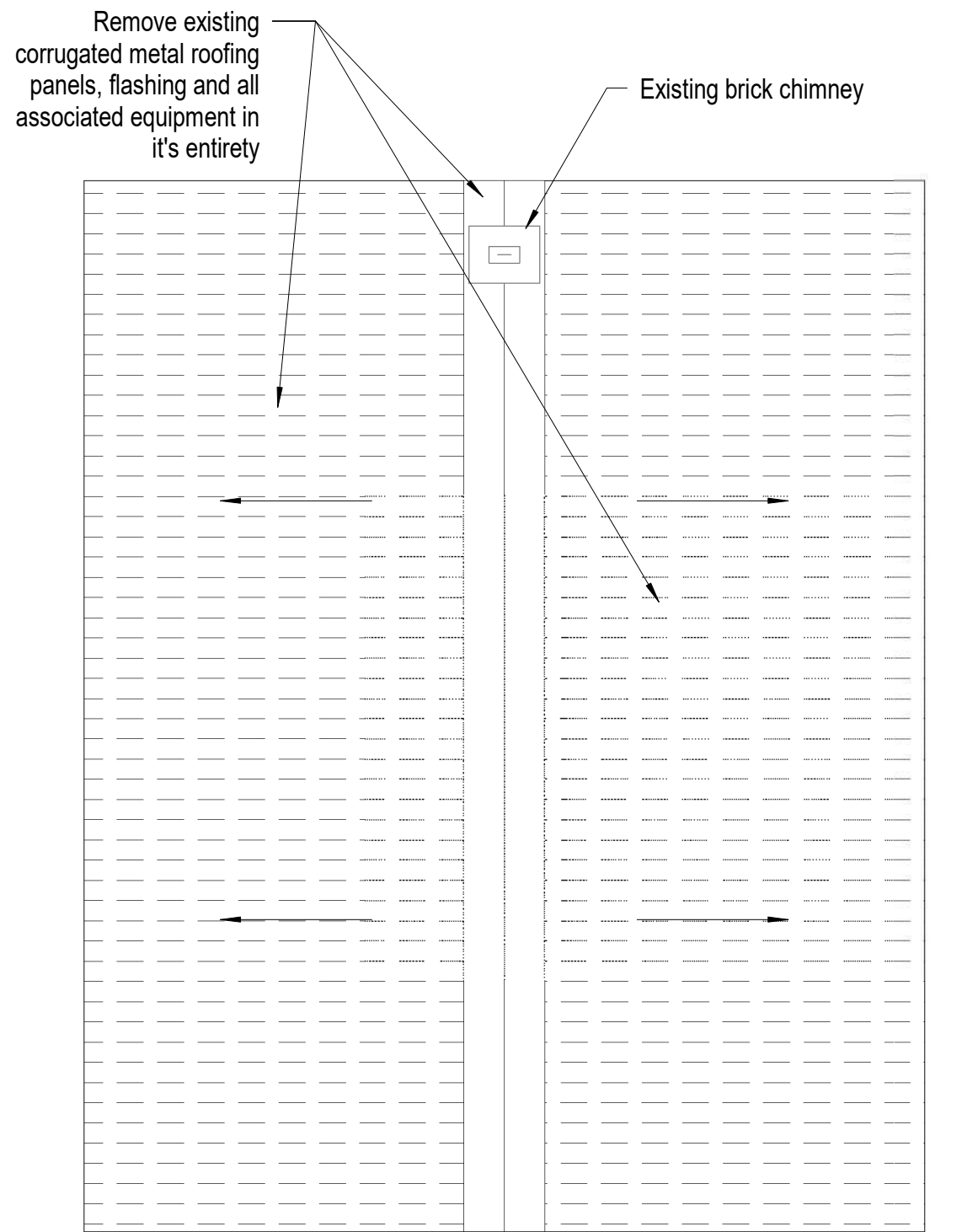
D4 Rake Detail  
1 1/2" = 1'-0"



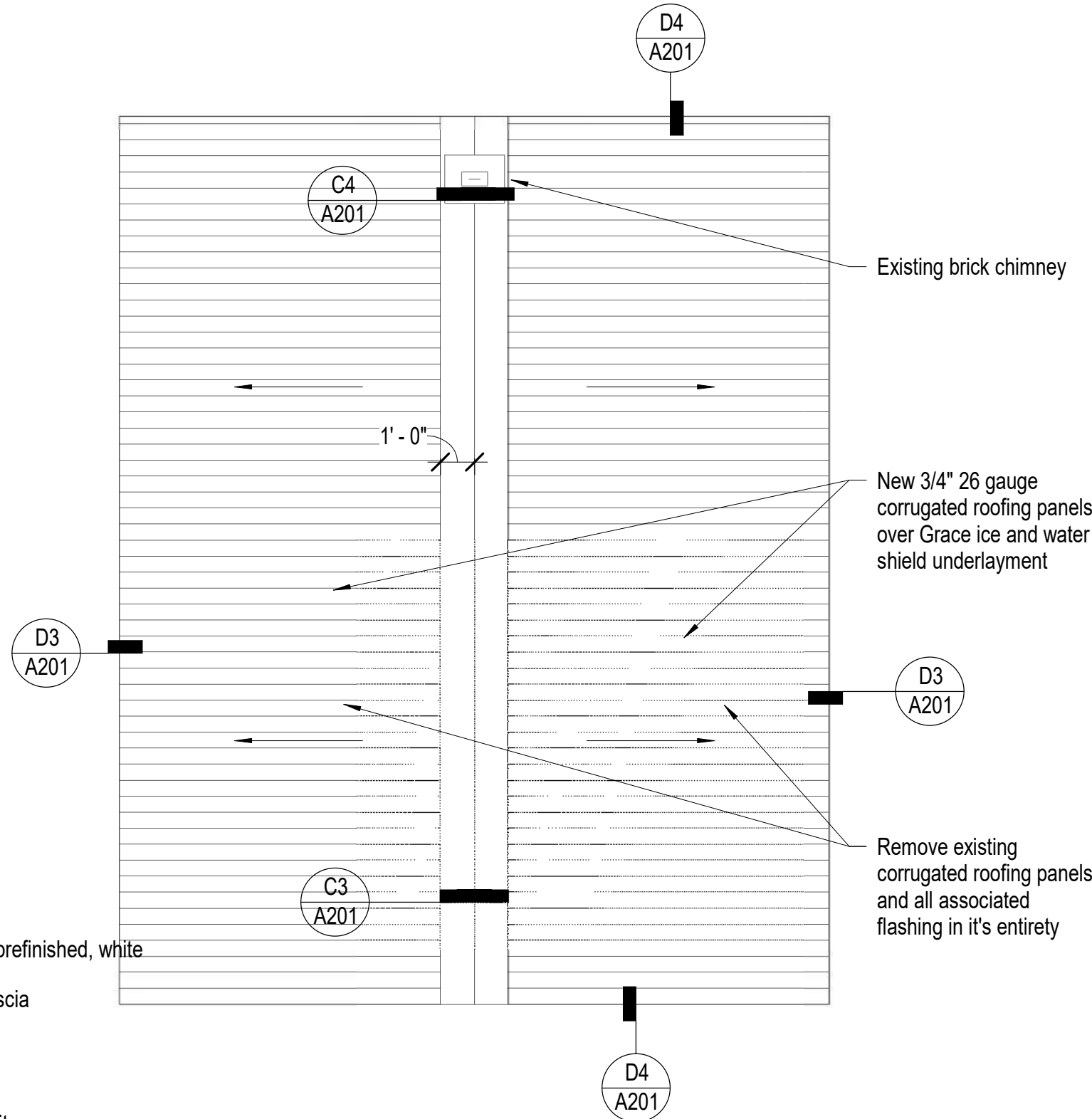
C3 Roof Ridge Detail  
1 1/2" = 1'-0"



D3 Soffit/Eave Detail  
1 1/2" = 1'-0"



B2 Garage Demolition Roof Plan  
1/4" = 1'-0"



D2 Garage Alteration Roof Plan  
1/4" = 1'-0"

## Roof Plan Notes

- Coordinate construction operations, schedule, and sequencing with Douglas County Community Services Project Manager and Dangberg Ranch Curator.
- The existing roof system is as follows:
  - Existing corrugated steel roof panels over
  - Existing felt underlayment over
  - Existing 1x12 roof planks spaced 6"-8" between one another over
  - Existing 2x wood trusses at 24" o.c.
- The new roof system is as follows:
  - Corrugated steel roof panels (see Specifications) over
  - Ice and water shield underlayment over
  - Existing 1x12 roof planks spaced 6"-8" between one another over
  - Existing 2x wood trusses at 24" o.c.
- In the event that roof work creates a condition where interior spaces are open to weather, the Contractor shall protect the building from the effects of exposure to exterior conditions. The building shall be weather-tight at the conclusion of work each day. At the conclusion of work in a specific area the Contractor is to replace all removed components to a weather-tight condition. In the event that the roof leaks, the Contractor shall respond and make the roofing water tight within 3 hours, at no additional cost to the Owner.
- The Contractor shall maintain a clean environment during all constructions operations, and shall conduct a final cleaning of entire area of work at the conclusion of the project.
- See Project Manual and Specifications for additional information and requirements.
- Where roofing and flashing requirements vary from those described on the details, Contractor shall provide roofing manufacturer's approved details as required for warranty requirements.
- All penetrations, flashing's, and roofing components are to be installed per roof manufacturer's instructions and recommendations as required for warranty.
- Contractor shall completely protect the entire roof for the duration of construction procedures on the roof. Protection shall include covering necessary to protect the roof from foot traffic, equipment, weather, rain, and other potentially damaging sources.
- All existing metal roofing panels, trim and miscellaneous accessories are to be returned to the Dangberg Ranch Curator.

## Roof Demolition Legend

Existing corrugated metal roofing panels, flashing and associated equipment are to be removed and returned to the Dangberg Ranch Curator.

## Paul Cavin Architect LLC

1575 Delucchi Lane, Suite 120  
Reno, Nevada 89502

office: (775) 284-7083  
mobile: (775) 842-0261

www.paulcavindesign.com  
paul@paulcavindesign.com

professional seal



consultant

project

Dangberg Home Ranch  
Restoration Projects

Dangberg Home Ranch  
1450 NV-88  
Minden, Nevada 89423

revisions

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date 2/10/2022  
project number 21018  
drawing name

## Garage Roof Plan

sheet number

A201





Patch and repair concrete base (SikaQuick VOH or equal)

A5 Photo of Existing Conditions  
Not to Scale

Clean, repair, prep and paint screen wood frame. Clean all hardware, typical

Clean, repair, prep and paint perimeter wood frame sash, mullions, sills and trim, interior and exterior typical



Clean all glazing lites interior and exterior

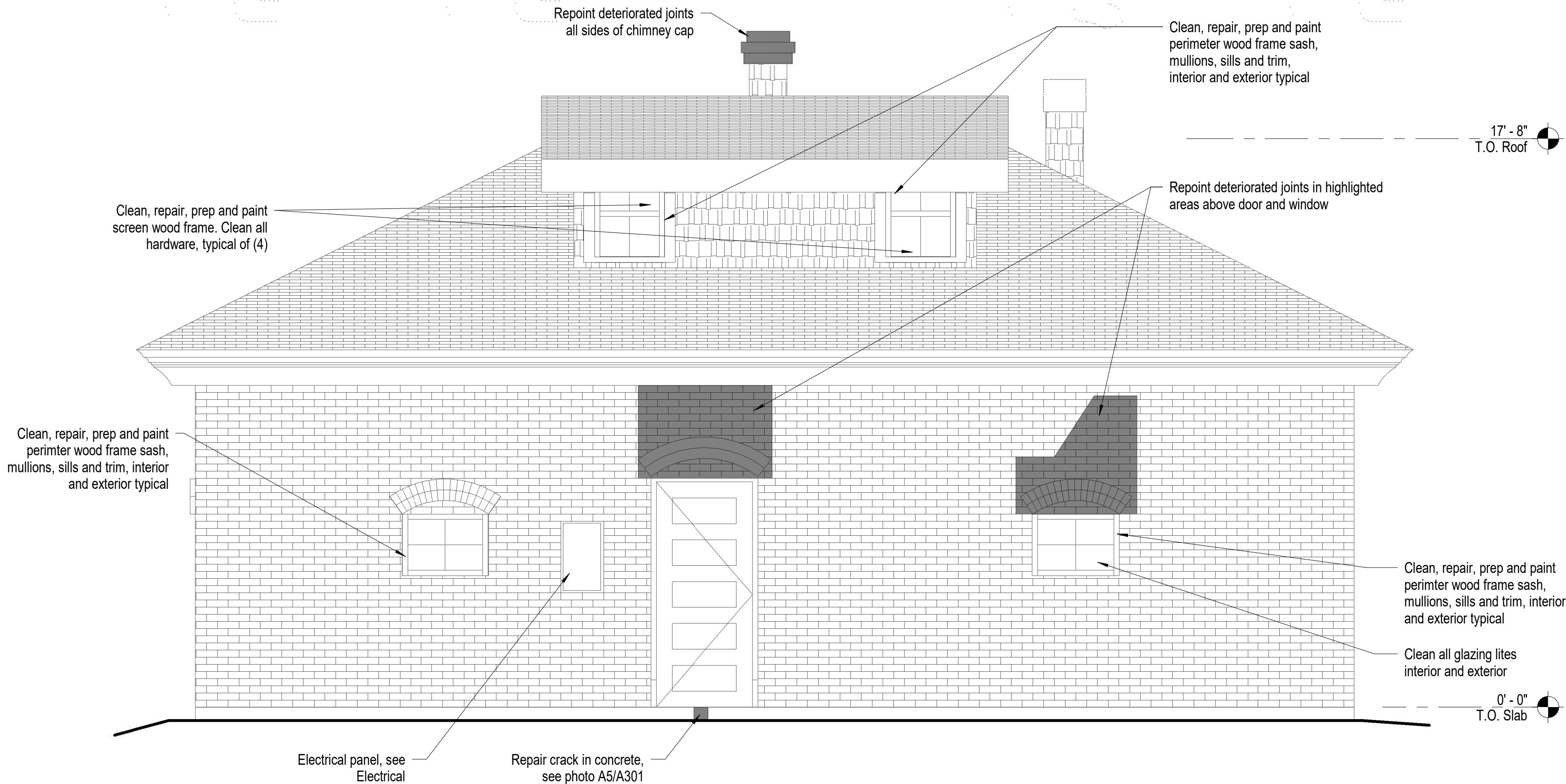
B5 Photo of Existing Conditions  
Not to Scale

Clean, repair, prep and paint screen wood frame. Clean all hardware, interior and exterior typical

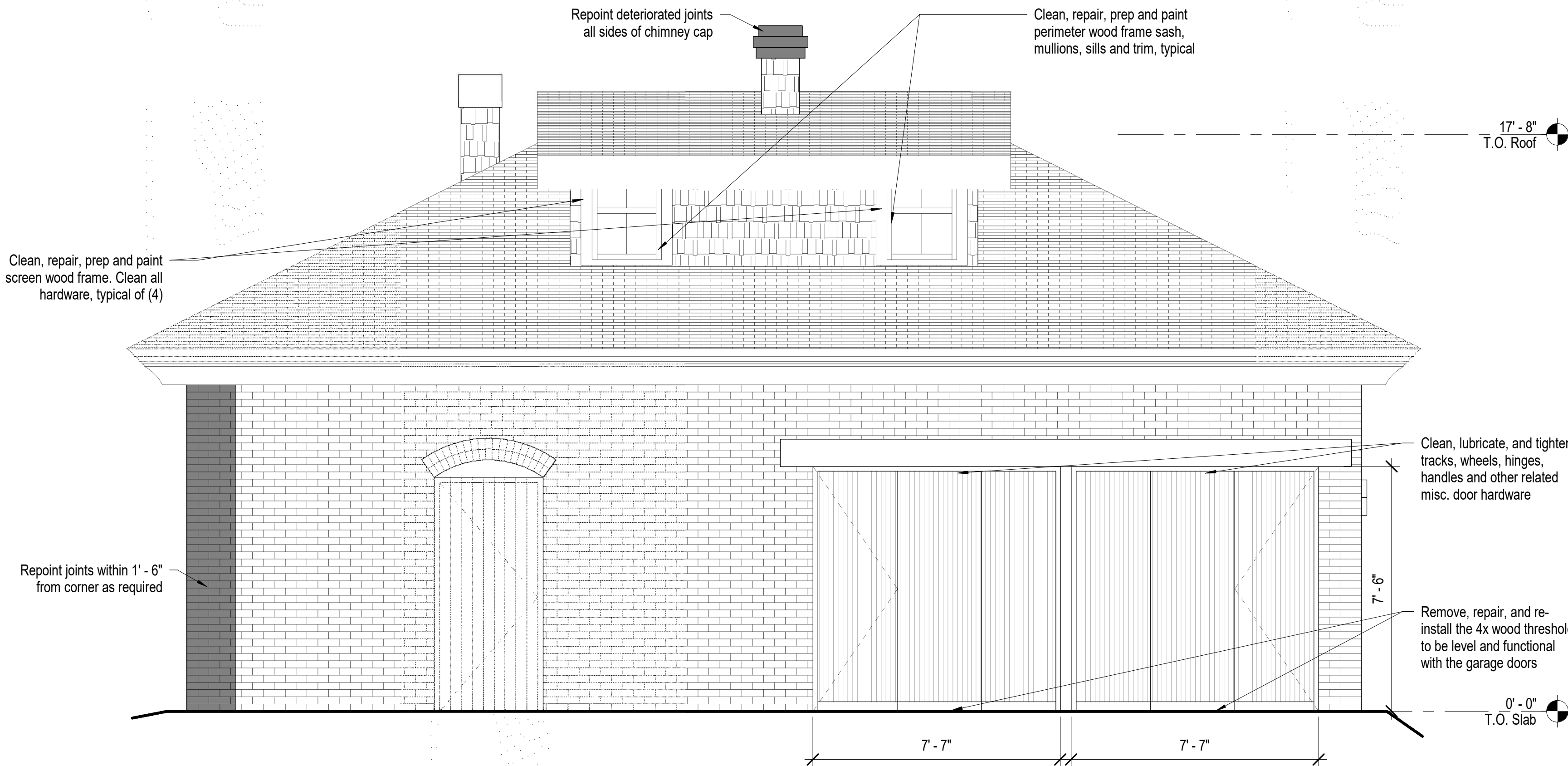
Clean all glazing lites interior and exterior  
Clean, repair, prep and paint perimeter wood frame sash, mullions, sills and trim, typical



D5 Photo of Existing Conditions  
Not to Scale



B4 Carriage House - West Elevation  
3/8" = 1'-0"



D4 Carriage House - East Elevation  
3/8" = 1'-0"

## Carraige House Exterior Elevation Notes

1. Refer to Project Manual and Specifications for additional information and requirements.
2. See sheet A101 for Dimensioned Floor Plan for plan dimensions related to exterior elevations.
3. All dimensions are approximate, Contractor to field verify all necessary dimensions.
4. See Structural drawings and specifications for additional information and requirements.
5. See Electrical drawings and specifications for additional information and requirements.
6. The following preservation briefs shall be used and followed for the execution of work at the Carriage House.

### 1. Cleaning and Water Repellent Treatments:

Carefully follow recommended procedures in this brief in washing the Carriage House from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.

### 2. Repointing Mortar Joints:

The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.

### 9. The Repair of Historic Wooden Windows:

The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damage glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.

### 21. Repairing Historic Flat Plaster Walls and Ceilings:

The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a two-coat process to patch and hide plaster repairs.

### 28. Painting Historic Interiors:

The contractor to use this brief as a guideline in preparing the interiors for re-painting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

7. The Dangberg Ranch Curator will remove all vine growth at each building prior to construction.
8. The General Contractor, General Contractor's project manager and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
9. See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of damaged wood.

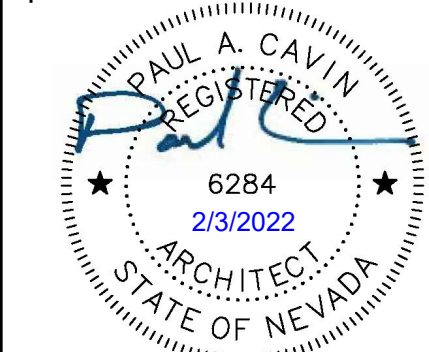
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Reno, Nevada 89502

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www.paulcavindesign.com  
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revisions

No.	Description	Date

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project number 21018  
drawing name

Exterior Elevations  
- Carriage House

sheet number

A301





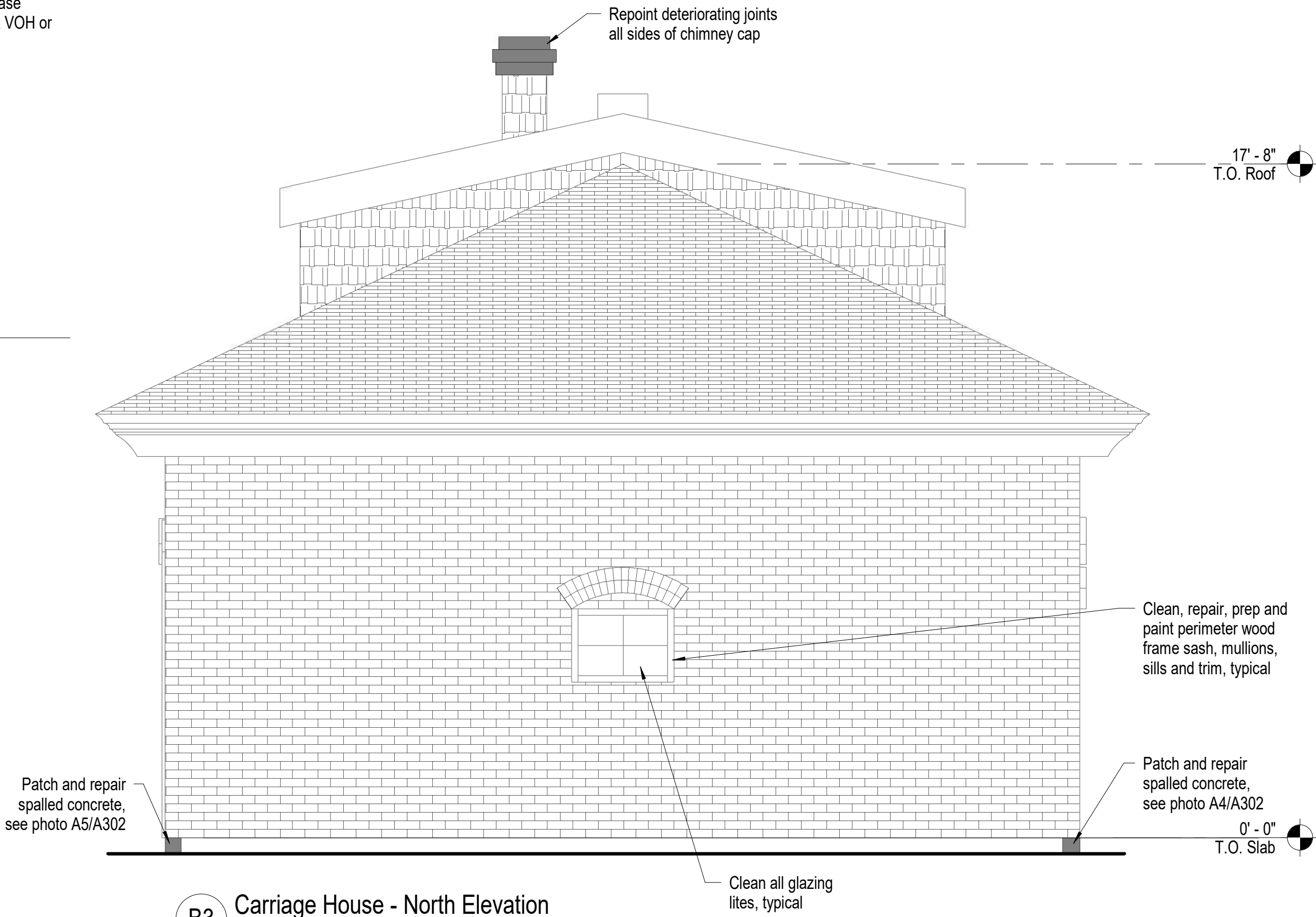
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Not to Scale



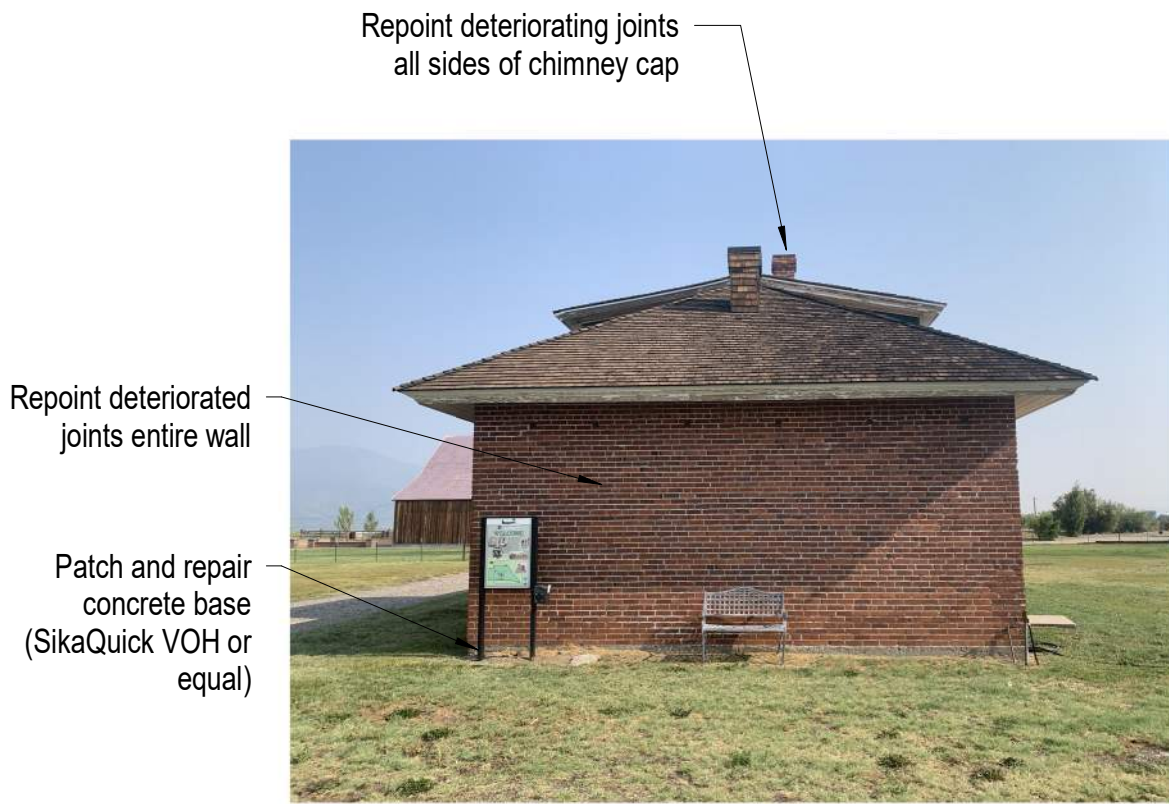
A4 Photo of Existing Conditions  
Not to Scale



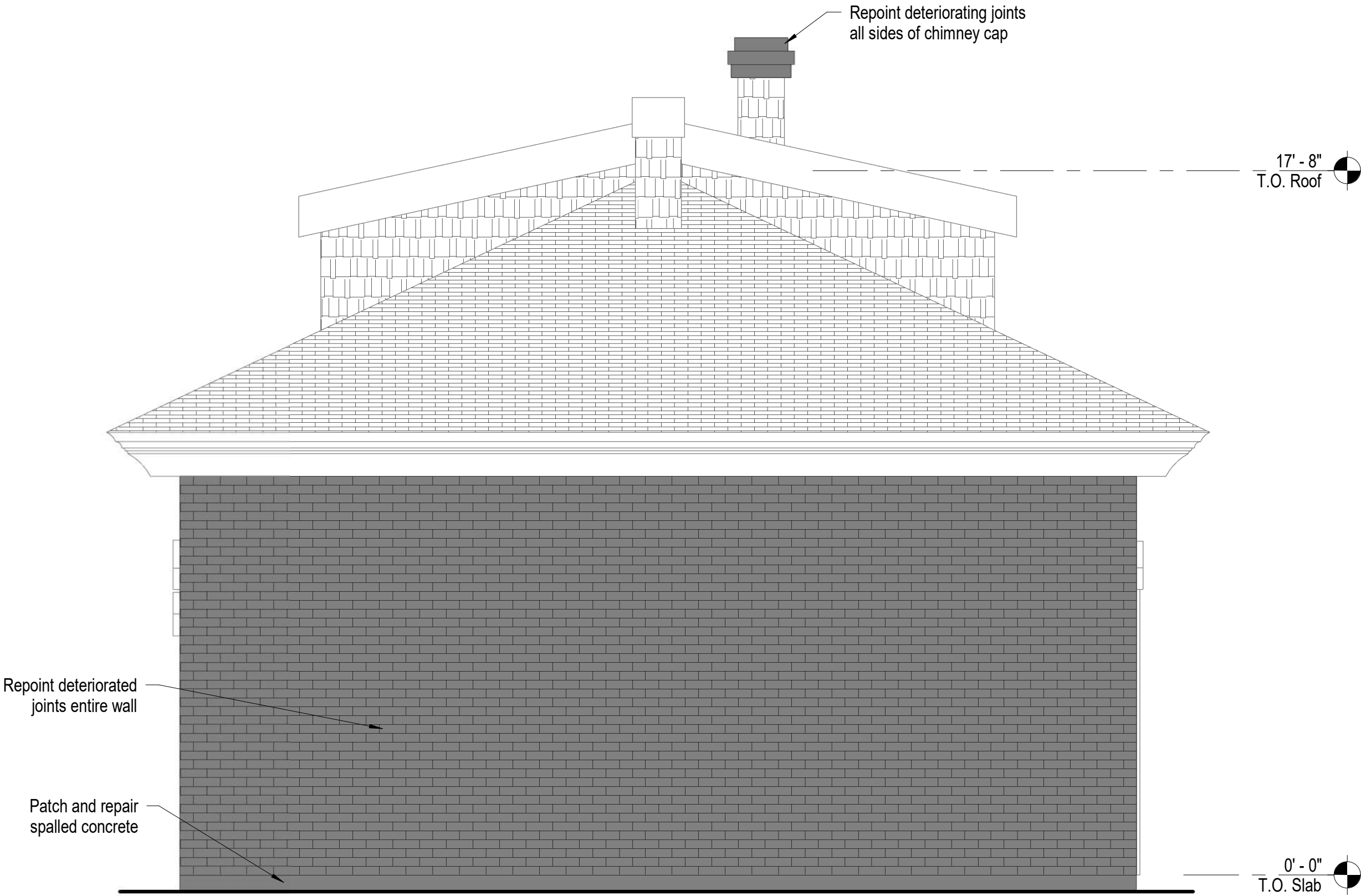
B1 Photo of Existing Conditions  
Not to Scale



B3 Carriage House - North Elevation  
3/8" = 1'-0"



D1 Photo of Existing Conditions  
Not to Scale



D3 Carriage House - South Elevation  
3/8" = 1'-0"

## Carraige House Exterior Elevation Notes

1. Refer to Project Manual and Specifications for additional information and requirements.
2. See sheet A101 for Dimensioned Floor Plan for plan dimensions related to exterior elevations.
3. All dimensions are approximate, Contractor to field verify all necessary dimensions.
4. See Structural drawings and specifications for additional information and requirements.
5. See Electrical drawings and specifications for additional information and requirements.
6. The following preservation briefs shall be used and followed for the execution of work at the Carriage House:

**1. Cleaning and Water Repellant Treatments:**  
Carefully follow recommended procedures in this brief in washing the Carriage House from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.

**2. Repointing Mortar Joints:**  
The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.

**9. The Repair of Historic Wooden Windows:**  
The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damage glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.

**21. Repairing Historic Flat Plaster Walls and Ceilings:**  
The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a two-coat process to patch and hide plaster repairs.

**28. Painting Historic Interiors:**  
The contractor to use this brief as a guideline in preparing the interiors for re-painting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

7. The Dangberg Ranch Curator will remove all vine growth at each building prior to construction.
8. The General Contractor, General Contractor's project manager and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
9. See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of damaged wood.

## Paul Cavin Architect LLC

1575 Delucchi Lane, Suite 120  
Reno, Nevada 89502

office: (775) 284-7083  
mobile: (775) 842-0261

www.paulcavindesign.com  
paul@paulcavindesign.com

professional seal



consultant

project

Dangberg Home Ranch  
Restoration Projects

Dangberg Home Ranch  
1450 NV-88  
Minden, Nevada 89423

revisions

No.	Description	Date

drawn by \_\_\_\_\_ Author  
reviewed by \_\_\_\_\_ Checker  
date 2/10/2022  
project number 21018  
drawing name

Exterior Elevations  
- Carriage House

sheet number

A302





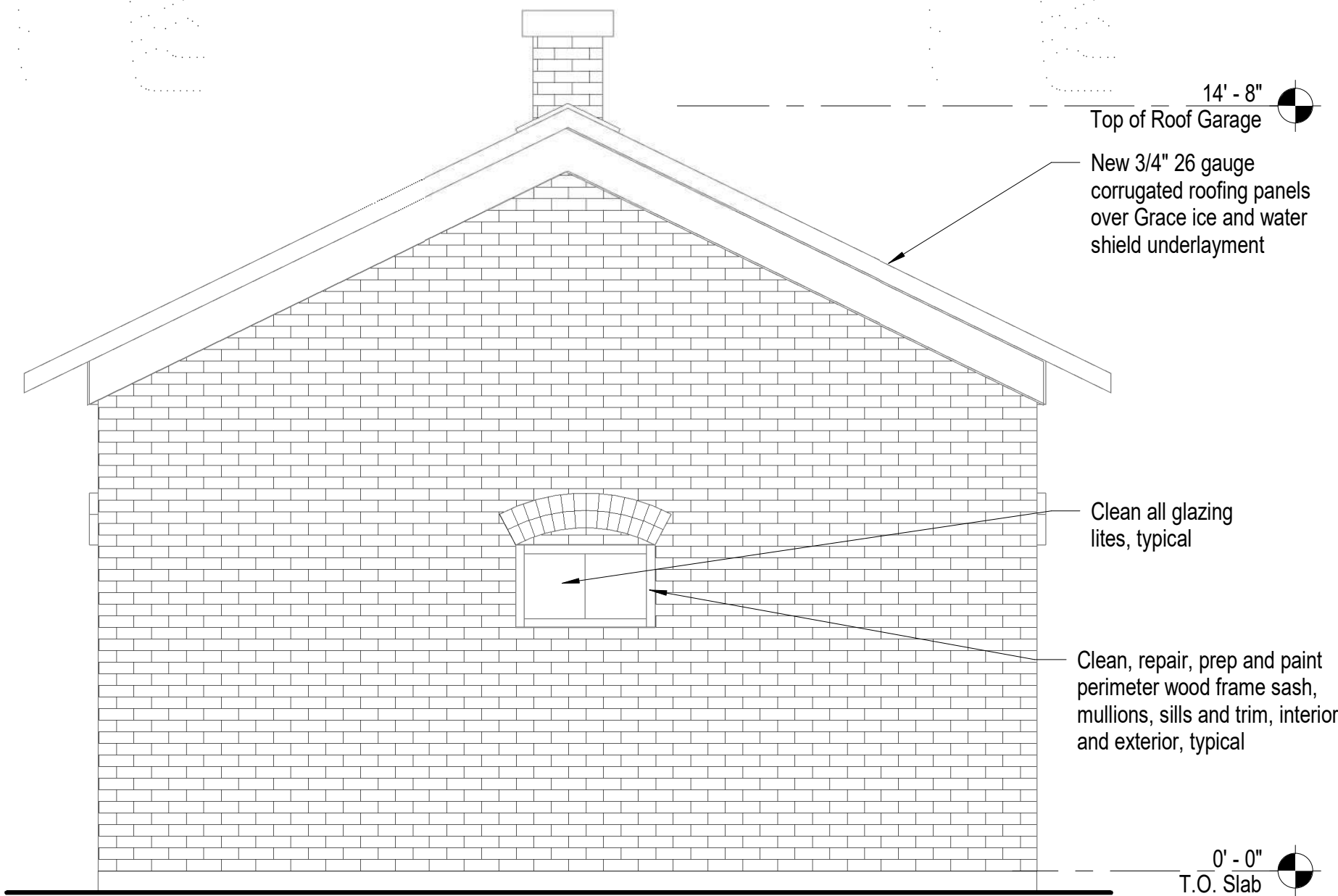
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Not to Scale



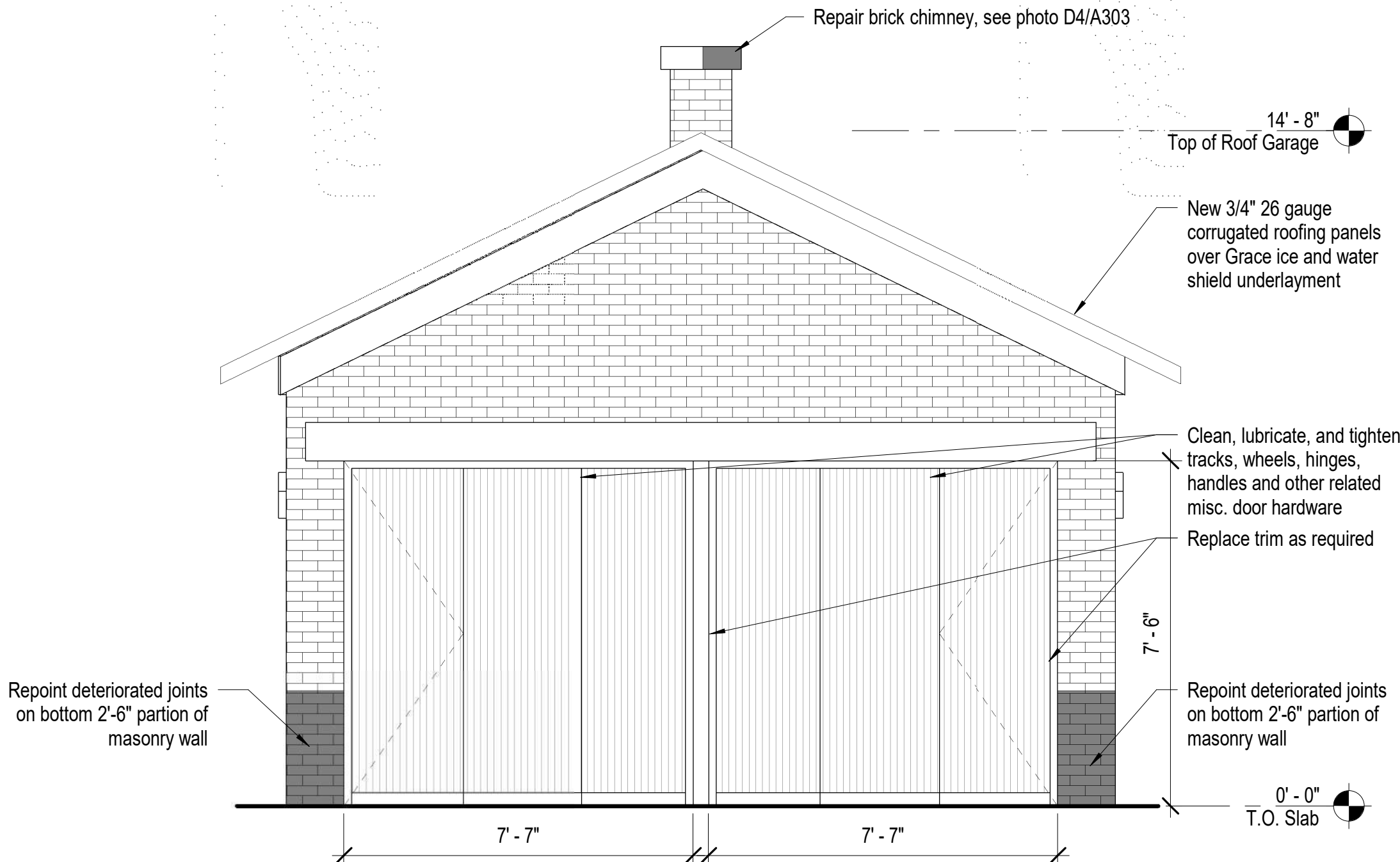
C4 Photo of Existing Conditions  
Not to Scale



D4 Photo of Existing Conditions  
Not to Scale



B3 Garage - West Elevation  
3/8" = 1'-0"



D3 Garage - East Elevation  
3/8" = 1'-0"

## Garage Exterior Elevation Notes

1. Refer to Project Manual and Specifications for additional information and requirements.
2. See sheet A102 for Dimensioned Floor Plan for plan dimensions related to exterior elevations.
3. All dimensions are approximate, Contractor to field verify all necessary dimensions.
4. See Structural drawings and specifications for additional information and requirements.
5. See Electrical drawings and specifications for additional information and requirements.
6. The following preservation briefs shall be used and followed for the execution of work at the Garage:

### 1.Cleaning and Water Repellant Treatments:

Carefully follow recommended procedures in this brief in washing the Carriage House from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.

### 2. Repointing Mortar Joints:

The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.

### 9. The Repair of Historic Wooden Windows:

The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damage glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.

### 21. Repairing Historic Flat Plaster Walls and Ceilings:

The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a two-coat process to patch and hide plaster repairs.

### 28. Painting Historic Interiors:

The contractor to use this brief as a guideline in preparing the interiors for re-painting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

7. The Dangberg Ranch Curator will remove all vine growth at each building prior to construction.
8. The General Contractor, General Contractor's project manager and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
9. See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of damaged wood.

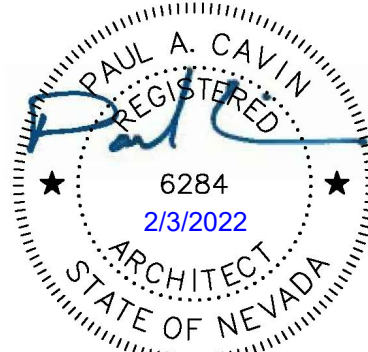
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Reno, Nevada 89502

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www.paulcavindesign.com  
paul@paulcavindesign.com

professional seal



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revisions

No.	Description	Date

drawn by RBR  
reviewed by MLM  
date 2/10/2022  
project number 21018  
drawing name

Exterior Elevations  
- Garage

sheet number

A303



Garage Exterior Elevation Notes

1. Refer to Project Manual and Specifications for additional information and requirements.
2. See sheet A102 for Dimensioned Floor Plan for plan dimensions related to exterior elevations.
3. All dimensions are approximate, Contractor to field verify all necessary dimensions.
4. See Structural drawings and specifications for additional information and requirements.
5. See Electrical drawings and specifications for additional information and requirements.
6. The following preservation briefs shall be used and followed for the execution of work at the Garage:

1. Cleaning and Water Repellant Treatments:  
Carefully follow recommended procedures in this brief in washing the Carriage House from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.

2. Repointing Mortar Joints:  
The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.

9. The Repair of Historic Wooden Windows:  
The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damage glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.

21. Repairing Historic Flat Plaster Walls and Ceilings:  
The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a two-coat process to patch and hide plaster repairs.

28. Painting Historic Interiors:  
The contractor to use this brief as a guideline in preparing the interiors for re-painting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

7. The Dangberg Ranch Curator will remove all vine growth at each building prior to construction.
8. The General Contractor, General Contractor's project manager and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
9. See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of damaged wood.

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revisions

No.	Description	Date

drawn by MLM  
reviewed by PAC  
date 2/10/2022  
project number 21018  
drawing name

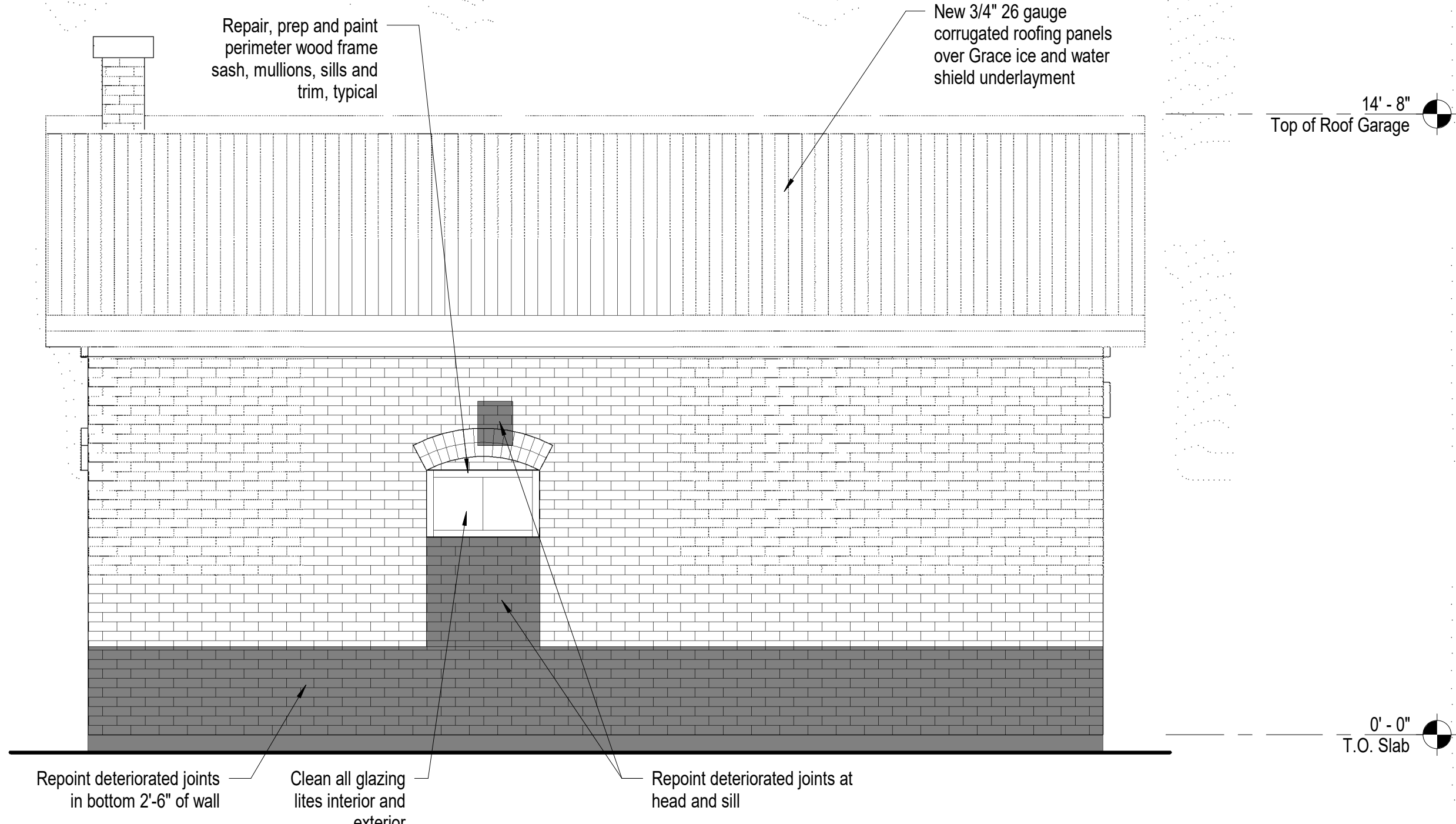
Exterior Elevations  
- Garage

sheet number

A304



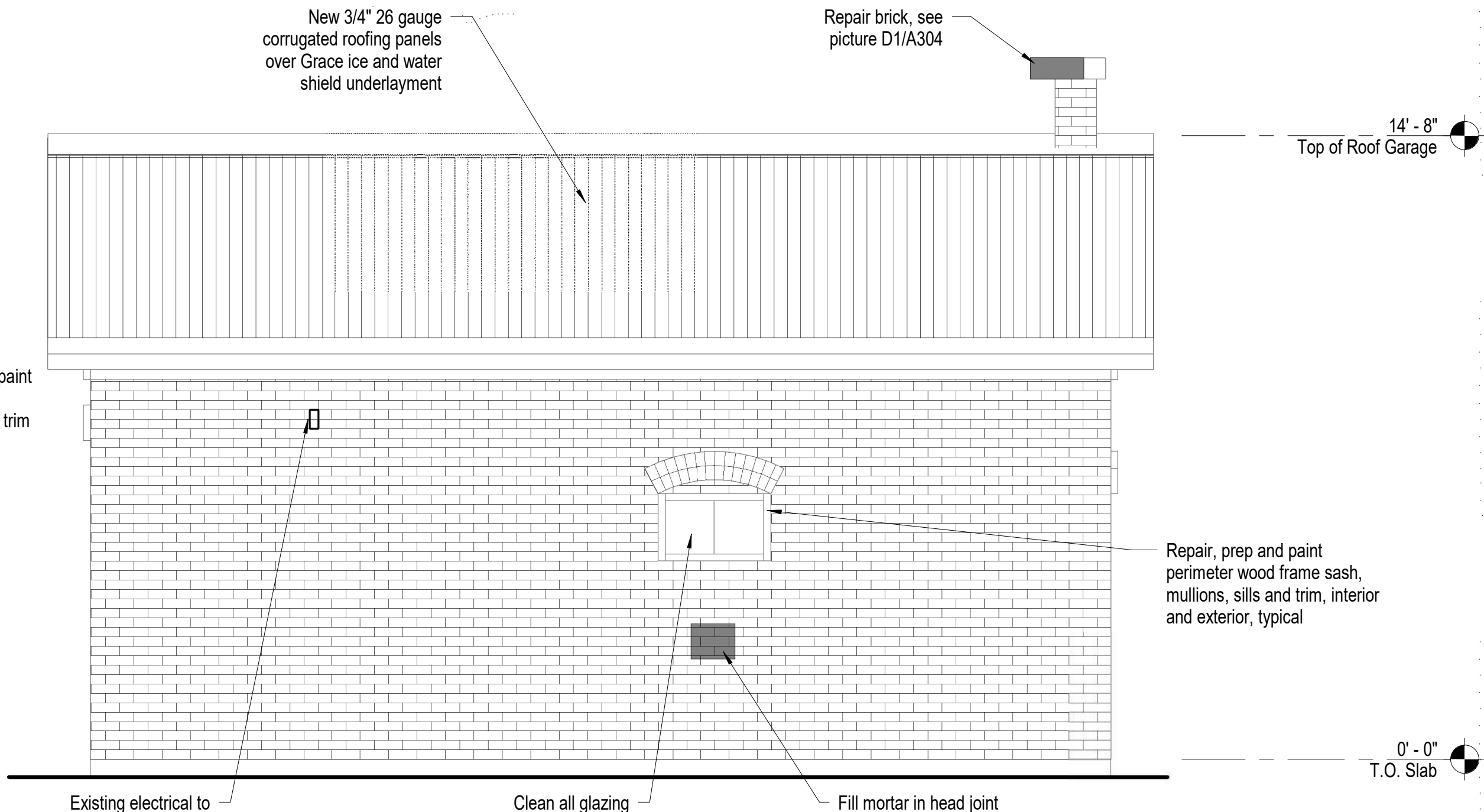
B1 Photo of Existing Conditions  
Not to Scale



B3 Garage - North Elevation  
3/8" = 1'-0"



D1 Photo of Existing Conditions  
Not to Scale



D3 Garage - South Elevation  
3/8" = 1'-0"



Carriage House Notes

1. Coordinate construction operations, schedule and sequencing with Douglas County Community Services Project Manager and Dangberg Ranch Curator. User will occupy the site during construction operations.
2. The Contractor shall be responsible for setting the exact limits of demolition required in order to perform the work.
3. The Contractor shall maintain a clean environment during all construction operations and shall conduct a final cleaning of entire area of work at the conclusion of the project.
4. The Contractor shall protect existing vegetation, finishes and historical features from construction traffic, cutting and all construction activities.
5. The Contractor will be responsible for repairing any damage to the existing vegetation, finishes and due to construction activities related to the restoration project.
6. Contractor shall limit work access to areas indicated during approved working hours and shall remove materials, tools and debris after construction hours.
7. The General Contractor, General Contractor's project manager, and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
8. Refer to Project Manual and Specifications for additional information and requirements.
9. See Structural drawings and specifications for additional information and requirements.
10. See Electrical drawings and specifications for additional information and requirements.
11. The following preservation briefs shall be used and followed for the execution of work at the Carriage House:

1. Cleaning and Water Repellent Treatments:  
Carefully follow recommended procedures in this brief in washing the Carriage House from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.

2. Repointing Mortar Joints:  
The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.

9. The Repair of Historic Wooden Windows:  
The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damage glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.

21. Repairing Historic Flat Plaster Walls and Ceilings:  
The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a two-coat process to patch and hide plaster repairs.

28. Painting Historic Interiors:  
The contractor to use this brief as a guideline in preparing the interiors for re-painting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

12. See sheet A301 and A302 for the Carriage House exterior elevations.
13. See sheet A501 for the Carriage House reflected ceiling plan.
14. Dangberg Curator to remove over grown vegetation and other items adjacent to the building.
15. See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of damaged wood.

Reflected Ceiling Plan Legend

- Existing plaster ceiling to be removed
- New plaster ceiling system painted

Paul Cavin  
Architect LLC

1575 Delucchi Lane, Suite 120  
Reno, Nevada 89502

office: (775) 284-7083  
mobile: (775) 842-0261

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paul@paulcavindesign.com



consultant

project

Dangberg Home Ranch  
Restoration Projects

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Minden, Nevada 89423

revisions

No.	Description	Date

drawn by MLM  
reviewed by PAC  
date 2/10/2022  
project number 21018  
drawing name

Carriage House  
Reflected Ceiling  
Plans

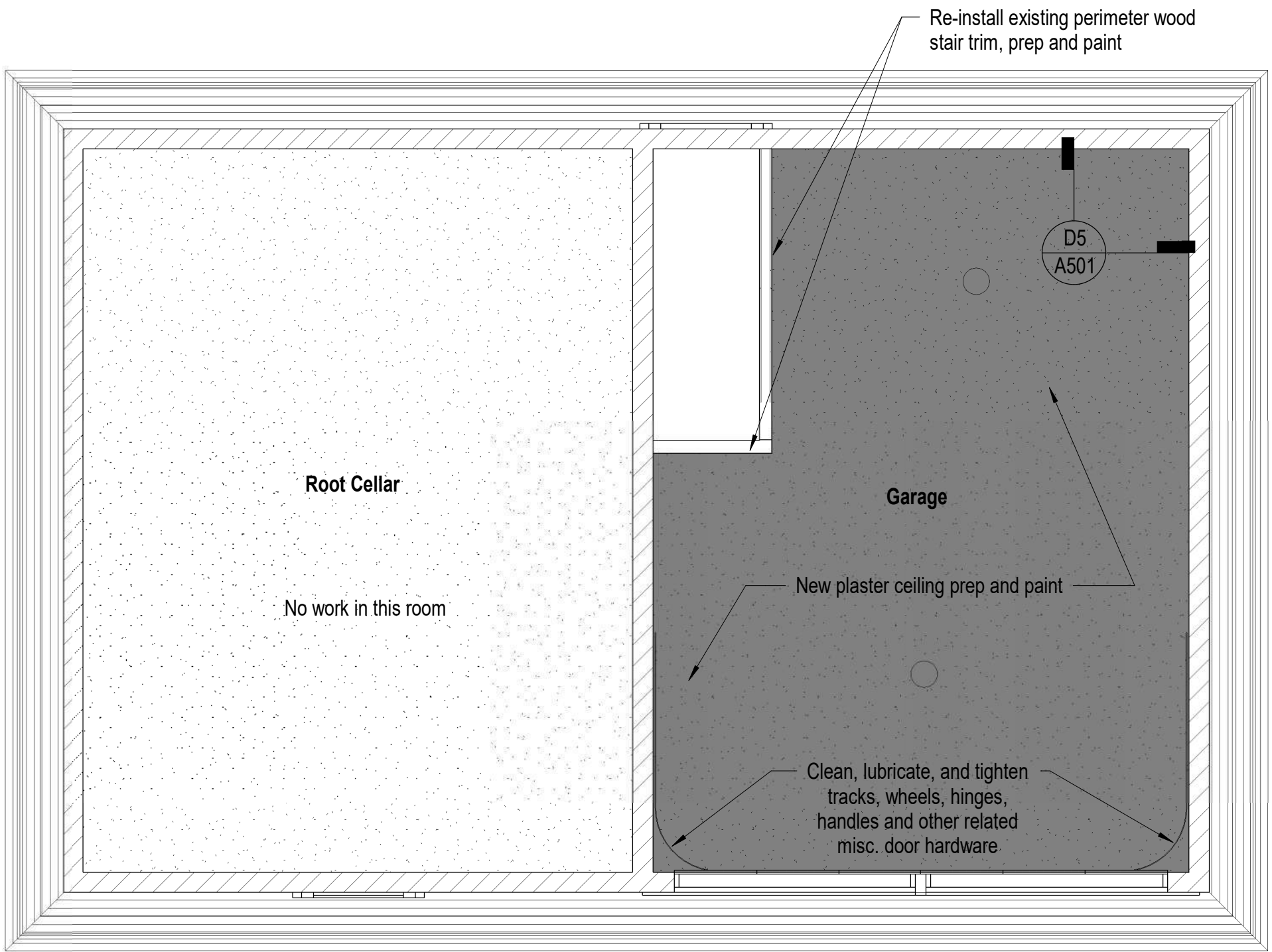
sheet number

A501



Remove existing plaster in it's entirety, inspect, reattach and/or replace wood lath where necessary

B4 Photo of Existing Conditions  
Not to Scale

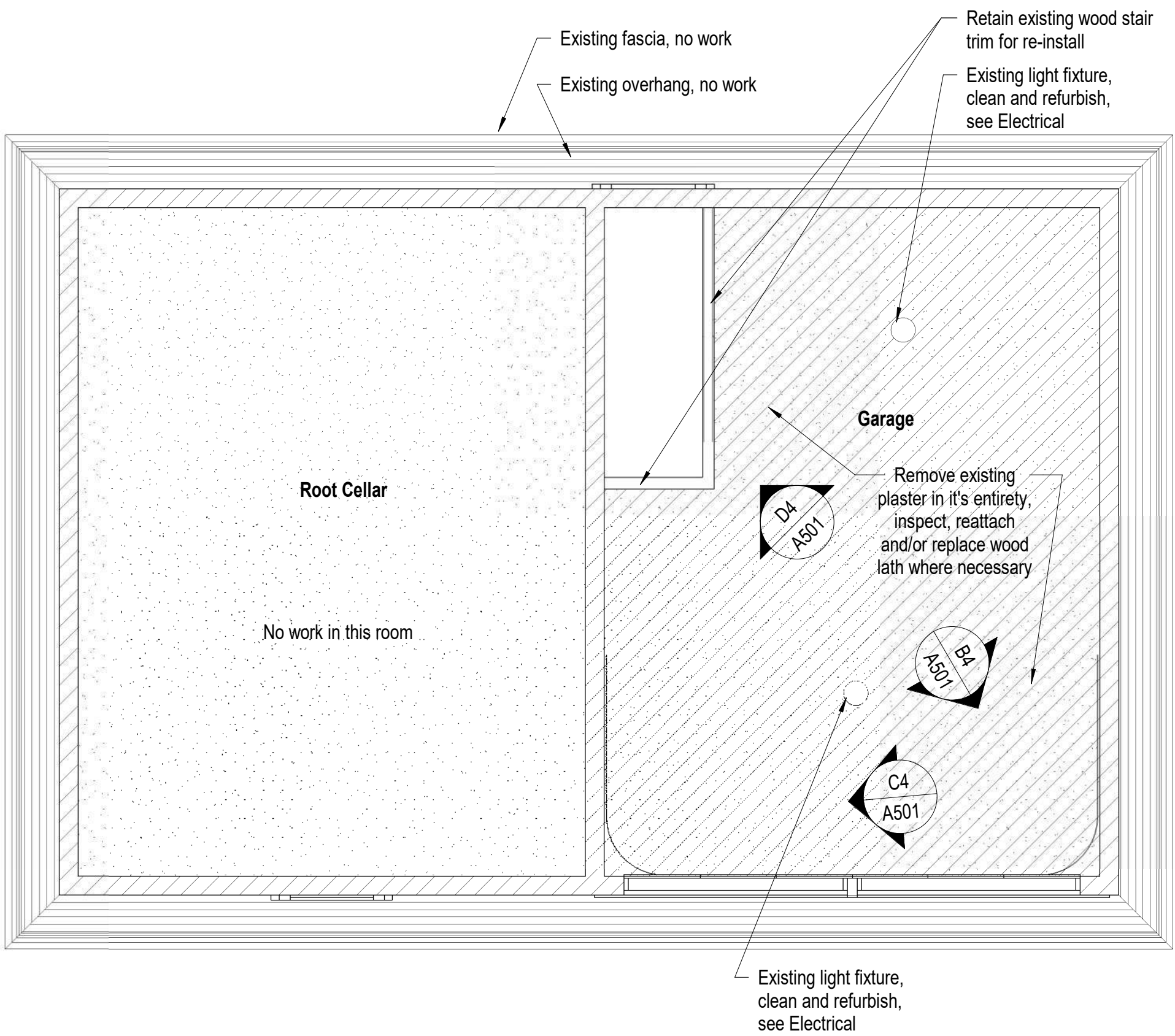


B3 Carriage House - Alteration Reflected Ceiling Plan  
1/4" = 1'-0"

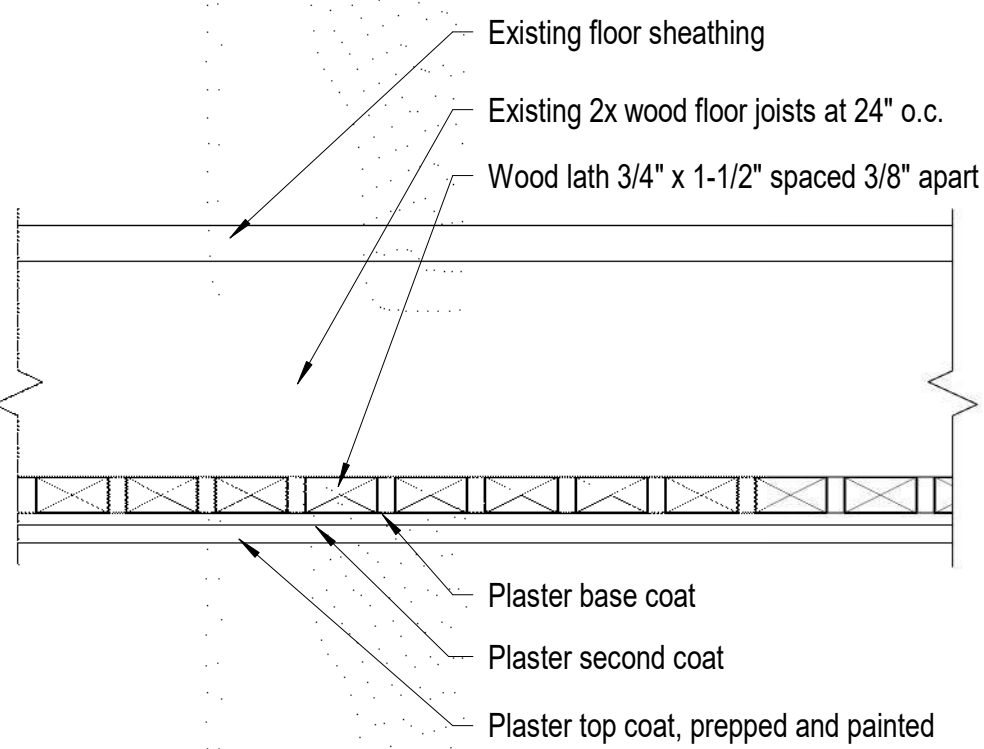


Remove existing plaster in it's entirety, inspect, reattach and/or replace wood lath where necessary

C4 Photo of Existing Conditions  
Not to Scale



D3 Carriage House - Demolition Reflected Ceiling Plan  
1/4" = 1'-0"



D5 Ceiling Detail  
3" = 1'-0"

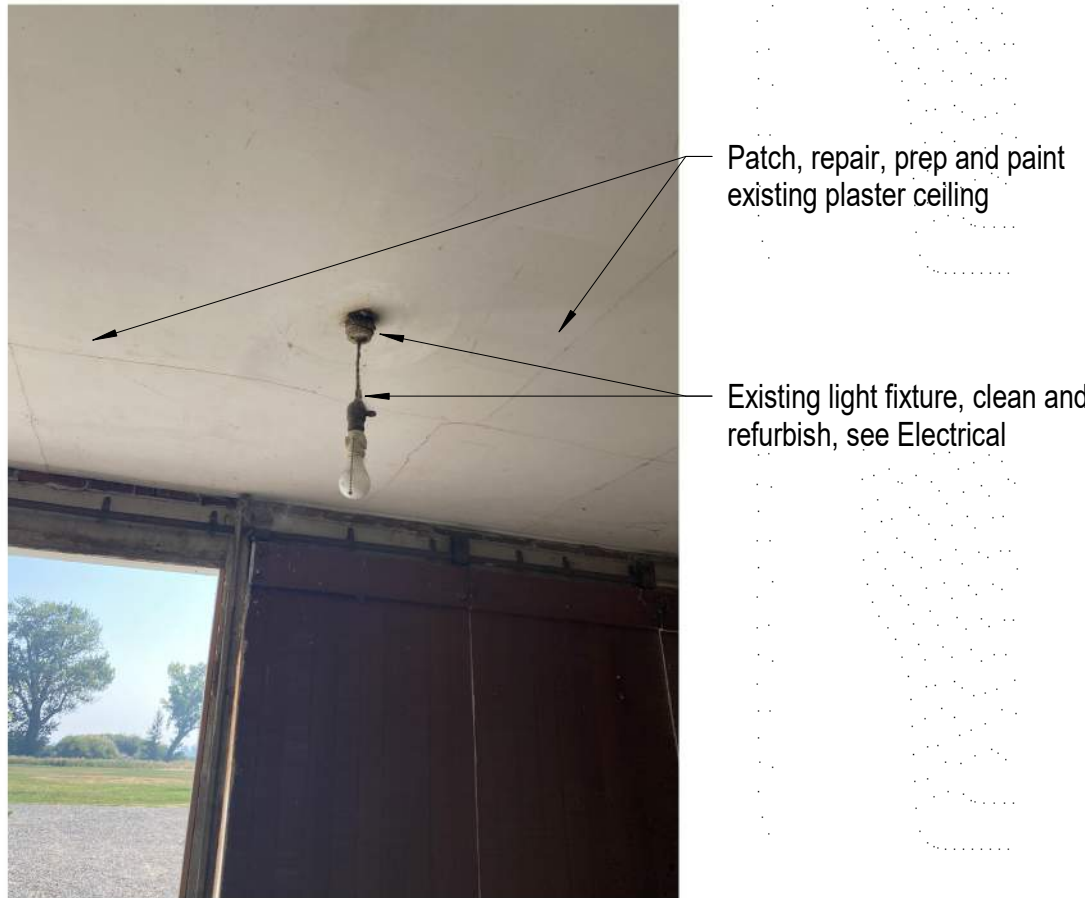


Retain existing wood stair trim for re-install

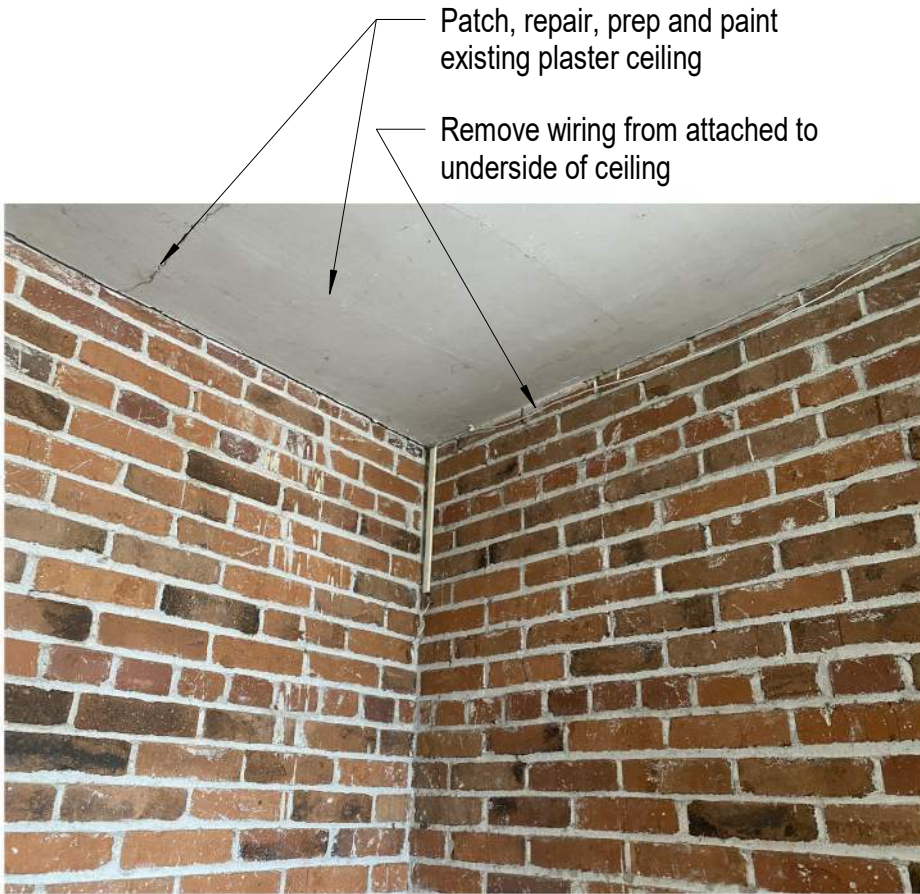
Remove existing plaster in it's entirety, inspect, reattach and/or replace wood lath where necessary

D4 Photo of Existing Conditions  
Not to Scale

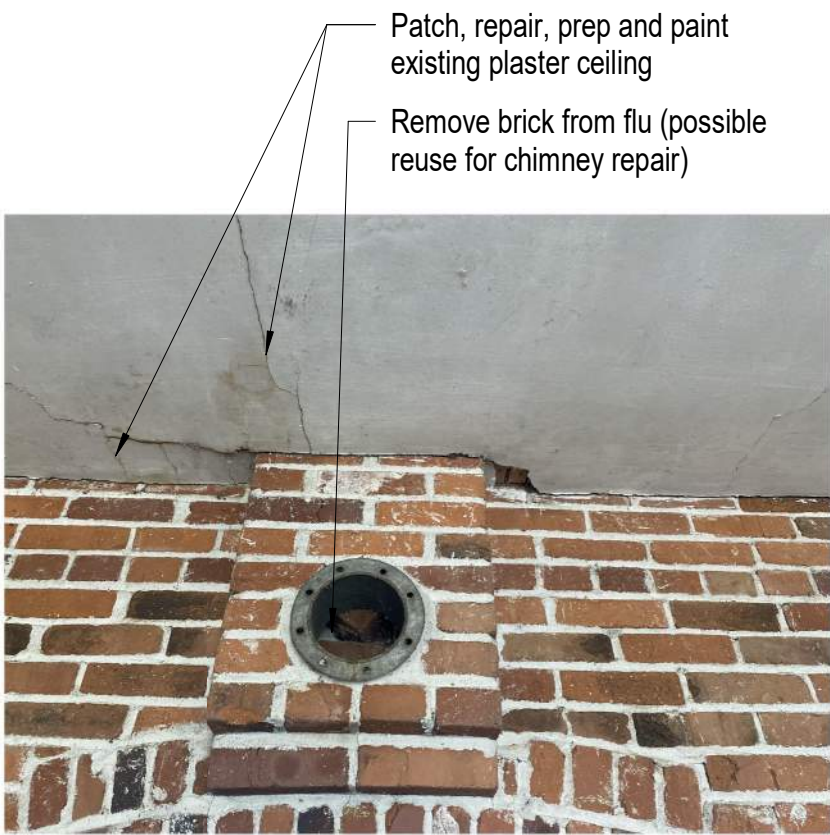




A4 Photo of Existing Conditions  
Not to Scale



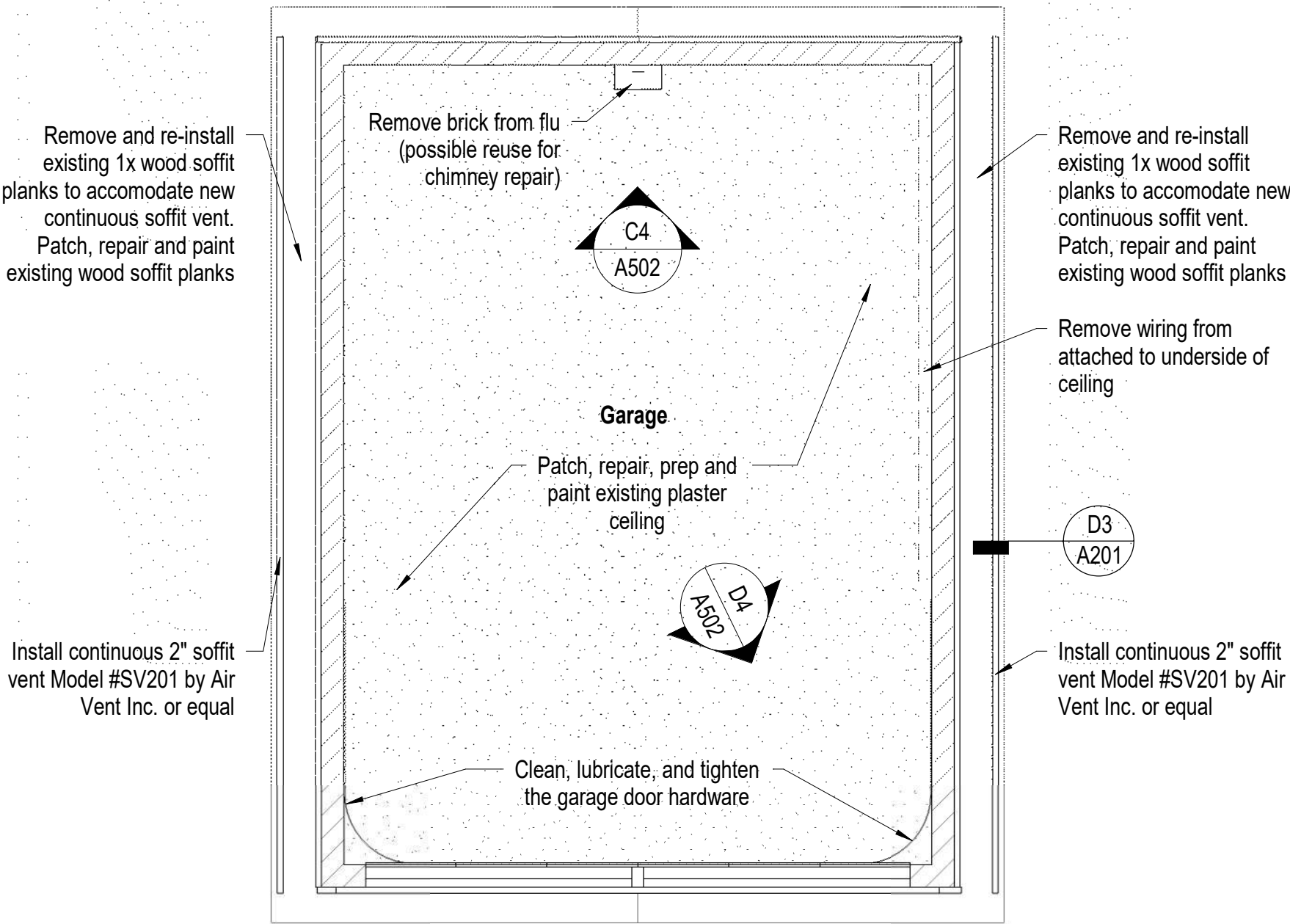
B4 Photo of Existing Conditions  
Not to Scale



C4 Photo of Existing Conditions  
Not to Scale



D4 Photo of Existing Conditions  
Not to Scale



D3 Garage Reflected Ceiling Plan  
1/4" = 1'-0"

## Garage Notes

1. Coordinate construction operations, schedule and sequencing with Douglas County Community Services Project Manager and Dangberg Ranch Curator. User will occupy the site during construction operations.
2. The Contractor shall be responsible for setting the exact limits of demolition required in order to perform the work.
3. The Contractor shall maintain a clean environment during all construction operations and shall conduct a final cleaning of entire area of work at the conclusion of the project.
4. The Contractor shall protect existing vegetation, finishes and historical features from construction traffic, cutting and all construction activities.
5. The Contractor will be responsible for repairing any damage to the existing vegetation, finishes and due to construction activities related to the restoration project.
6. Contractor shall limit work access to areas indicated during approved working hours and shall remove materials, tools and debris after construction hours.
7. The General Contractor, General Contractor's project manager, and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
8. Refer to Project Manual and Specifications for additional information and requirements.
9. See Structural drawings and specifications for additional information and requirements.
10. See Electrical drawings and specifications for additional information and requirements.
11. The following preservation briefs shall be used and followed for the execution of work at the Garage:

1. Cleaning and Water Repellant Treatments:  
Carefully follow recommended procedures in this brief in washing the Garage from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.

2. Repointing Mortar Joints:  
The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.

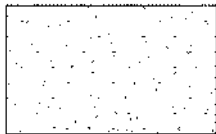
9. The Repair of Historic Wooden Windows:  
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21. Repairing Historic Flat Plaster Walls and Ceilings:  
The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a two-coat process to patch and hide plaster repairs.

28. Painting Historic Interiors:  
The contractor to use this brief as a guideline in preparing the interiors for re-painting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

12. See sheet A303 and A304 for the Garage exterior elevations.
13. See sheet A502 for the Garage reflected ceiling plan.
14. Dangberg Curator to remove over grown vegetation and other items adjacent to the building.
15. See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of damaged wood.

## Reflected Ceiling Plan Legend



Patch, repair, prep and paint existing plaster ceiling

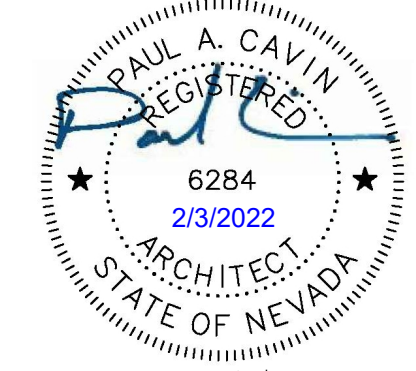
## Paul Cavin Architect LLC

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Reno, Nevada 89502

office: (775) 284-7083  
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professional seal



consultant

project

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Restoration Projects

Dangberg Home Ranch  
1450 NV-88  
Minden, Nevada 89423

revisions

No.	Description	Date

drawn by MLM  
reviewed by PAC  
date 2/10/2022  
project number 21018  
drawing name

## Garage Reflected Ceiling Plan

sheet number

A502



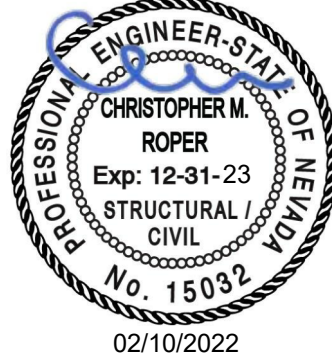
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www.paulcavindesign.com  
paul@paulcavindesign.com

professional seal



consultant

CFBR STRUCTURAL GROUP, LLC

5425 LOUIE LN, RENO, NV 89511  
P: (775) 525-1113

TYSON COLOVICH, PE  
NV LIC. # 19370  
CA LIC. # C76006

MATTHEW FETTING, PE  
NV LIC. # 20004  
CA LIC. # C74178

CHRIS ROPER, PE/SE  
NV LIC. # 15024  
CA LIC. # 50734

project

Dangberg Home Ranch Restoration Projects

Douglas County Community Services  
1594 Esmeralda Avenue  
Minden, Nevada 89423

revisions

No.	Description	Date

drawn by RGP  
reviewed by CMR  
date 02/10/2022  
project number 21025  
drawing name

STRUCTURAL NOTES & TYPICAL DETAILS

sheet number

S001

GENERAL

- A.

THESE GENERAL NOTES APPLY TO ALL WORK SHOWN IN THE STRUCTURAL DRAWINGS. THE GENERAL CONTRACTOR AND ALL INVOLVED PARTIES SHALL BE DIRECTLY RESPONSIBLE FOR READING AND COMPLYING WITH ALL INFORMATION PROVIDED IN THE STRUCTURAL DRAWINGS AND SPECIFICATIONS.
- B.

THE CONTRACTOR SHALL COMPLY WITH ALL GENERAL NOTES AND TYPICAL DETAILS SHOWN IN THE DRAWINGS, WHETHER OR NOT SPECIFIC FLAGGING OR REFERENCE HAS BEEN MADE TO THE APPLICABLE GENERAL NOTE OR TYPICAL DETAIL. PROJECT SPECIFIC NOTES AND DETAILS SHOWN ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- C.

ALL WORK SHALL COMPLY WITH THE MINIMUM STANDARDS OF THE CURRENT ADOPTED BUILDING CODE, THE LATEST EDITION OF ASTM OR OTHER INDUSTRY STANDARDS REFERENCED, AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS AND REGULATIONS. FOR ITEMS, METHODS, AND/OR MATERIALS NOT SHOWN, ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE REGULATING AGENCIES THAT HAVE AUTHORITY OVER SUCH PORTIONS OF WORK.
- D.

THE STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE MEANS OR METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKERS, AND OTHER PERSONS DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, PREPARATION AND EXECUTION OF A SAFETY PROGRAM AND DESIGN AND INSTALLATION OF BRACING, SHORING, FORMS AND SCAFFOLDING. THE CONTRACTOR SHALL RETAIN HIS OWN ENGINEER WHERE REQUIRED FOR MEANS AND METHODS AS WELL AS ANY OTHER DELEGATED DESIGN ITEMS.
- E.

THE CONTRACTOR SHALL BE DIRECTLY RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, ELEVATIONS, GRADES AND CONDITIONS WITH EXISTING CONDITIONS IN THE FIELD AND WITH ARCHITECTURAL AND OTHER DRAWINGS (I.E. CIVIL, MECHANICAL, PLUMBING, ELECTRICAL, ETC.) PRIOR TO CONSTRUCTION. THE ARCHITECT AND ENGINEER (A/E) SHALL BE NOTIFIED OF ANY DISCREPANCIES, OMISSIONS OR INCONSISTENCIES SO REVISIONS OR CLARIFICATIONS CAN BE MADE WHERE NECESSARY.
- F.

IN THE EVENT EXISTING CONDITIONS ARE FOUND TO BE DIFFERENT FROM THOSE SHOWN IN THE DRAWINGS, THE A/E SHALL BE NOTIFIED SO REVISIONS OR CLARIFICATIONS CAN BE MADE WHERE NECESSARY.
- G.

NO CHANGES OR DEVIATIONS FROM THE PLANS AND SPECIFICATIONS WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE A/E. ANY DESIRED CHANGES OR DEVIATIONS SHALL BE PRESENTED TO THE A/E FOR REVIEW WITH NO GUARANTEE THAT THE SUBSTITUTION WILL BE ALLOWED.
- H.

DO NOT SCALE THE DRAWINGS. DRAWINGS ARE DIAGRAMMATIC AND MAY NOT SCALE ACCURATELY.

SHOP DRAWINGS / SUBMITTALS

- A.

THE FOLLOWING SHALL BE SUBMITTED TO THE A/E FOR REVIEW AND APPROVAL:  
1. CONCRETE REPAIR MATERIALS AND MATERIAL CUTSHEETS  
2. MASONRY MORTARS, REPAIR MATERIALS, AND MATERIAL CUTSHEETS.
- B.

WHERE SHOP DRAWINGS / SUBMITTALS ARE REQUIRED THEY ARE TO BE PROVIDED TO THE A/E FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR PLACEMENT. SUBMITTALS SHALL BE COMPLETE AND COORDINATED BY THE CONTRACTOR AND REPRODUCTIONS OF THE CONTRACT DRAWINGS WILL NOT BE ACCEPTABLE.
- C.

PRIOR TO SUBMISSION TO THE A/E, THE CONTRACTOR SHALL REVIEW ALL SUBMITTALS FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS AND SUBMITTALS SHALL BE STAMPED/SIGNED BY THE CONTRACTOR AS HAVING BEEN REVIEWED FOR CONFORMANCE.
- D.

SHOP DRAWING SUBMITTALS PROCESSED BY THE A/E SHALL NOT BE CONSTRUED AS CHANGE ORDERS.
- E.

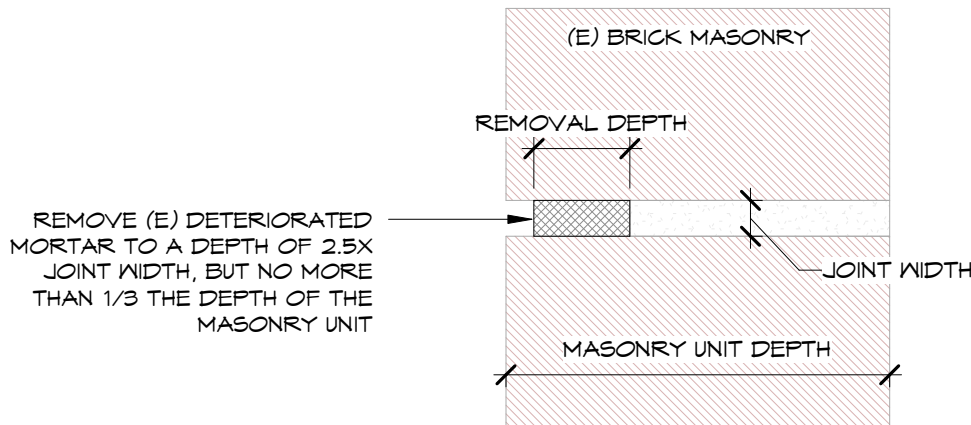
ANY DETAIL ON THE SHOP DRAWINGS THAT DEVIATES FROM THE CONTRACT DOCUMENTS SHALL BE CLEARLY NOTED, MARKED AND CLOUDED ACCORDINGLY FOR THE A/E.

STANDARD ABBREVIATIONS

AB	ANCHOR BOLT	JG	STEEL JOIST GIRDER
A/E	ARCHITECT / ENGINEER	JT	JOINT
AFF	ABOVE FIN FLR	K	KING STUD, KIPS
AGG	AGGREGATE	KSI	KIPS PER SQUARE INCH
ALT	ALTERNATE	KSF	KIPS PER SQUARE FOOT
ALUM	ALUMINUM	L	ANGLE
APPROX	APPROXIMATELY	LBS	POUNDS
ARCH	ARCHITECT	LLV	LONG LEG VERTICAL
BFF	BELOW FIN FLR	LLH	LONG LEG HORIZONTAL
BLDG	BUILDING	LT HT	LIGHT HEIGHT
BLKG	BLOCKING	MAX	MAXIMUM
BM	BEAM	MB	MACHINE BOLT
BN	BOUNDARY NAIL	MECH	MECHANICAL
BO	BOTTOM OF	MFR	MANUFACTURER
BOT	BOTTOM	MISC	MISCELLANEOUS
B/S	BOTH SIDES	MIN	MINIMUM
CP	CAST IN PLACE	MTL	METAL
CJ	CONTROL JOINT	(N)	N/A
CJP	COMPLETE JOINT	NA	NOT APPLICABLE
CL	CENTERLINE	NS	NEAR SIDE
CLS	CELING	NSA	NELSON STUD ANCHOR
CLR	CLEAR	NTS	NOT TO SCALE
CMU	CONC MASONRY UNIT	OC	ON CENTER
COL	COLUMN	OD	OUTSIDE DIAMETER
CONC	CONCRETE	OH	OPPOSITE HAND
CONN	CONNECTION	OKU	OPEN WEB STEEL JOIST
CONST	CONSTRUCTION	PERP	PERPENDICULAR
CONT	CONTINUOUS	FL	FLATE
COTK	COUNTERSINK	PLF	POUNDS PER FOOT
CY	CUBIC YARDS	PLY	PLYWOOD
DBL	DOUBLE	PSI	POUNDS PER SQUARE INCH
DF	DOUGLAS FIR	PSF	POUNDS PER SQUARE FOOT
DIA	DIAMETER	FT	FEET
DJ	DOVELEDED JOINT	REINF	REINFORCING
DWG	DRAWING	REGD	REQUIRED
EA	EACH	SCH	SCHEDULE
EF (E/F)	EACH FACE	SHTG	SHEATHING
ELEV	ELEVATION	SIM	SIMILAR
ELEC	ELECTRICAL	SOB	SLAB ON GRADE
EN	EDGE NAIL	SS	STAINLESS STEEL
EOR	ENGINEER OF RECORD	STAGG	STAGGERED
ES	EACH SIDE	STD	STANDARD
EW (E/W)	EACH WAY	STIFF	STIFFENER
(E)	EXISTING	STL	STEEL
EXT	EXTERIOR	STRUC	STRUCTURAL
FF	FINISHED FLOOR	SYM	SYMMETRICAL
FIN	FINISH	T	TRIMMER
FLR	FLOOR	TN	TORNAI
FN	FACE NAIL	TO	TOP OF
FO	FACE OF	TYP	TYPICAL
FS	FAR SIDE	T&G	TONGUE & GROOVE
FT	FEET	T&B	TOP & BOTTOM
FTG	FOOTING	UNO	UNLESS NOTED OTHERWISE
GA	GAGE, GAUGE	VERT	VERTICAL
GALV	GALVANIZED	VF	VERIFY IN FIELD
GLB	GLULAM BEAM	WF	WIDE FLANGE
HDR	HEADER	WNF	WELDED WIRE FABRIC
HORIZ	HORIZONTAL	WTH	WITH
HSB	HIGH STRENGTH BOLT	W/O	WITHOUT
ID	INSIDE DIAMETER	@	AT
IN	INCHES	#	NUMBER, POUNDS
INT	INTERIOR	+	AND
		+/-	PLUS OR MINUS

SHEET INDEX

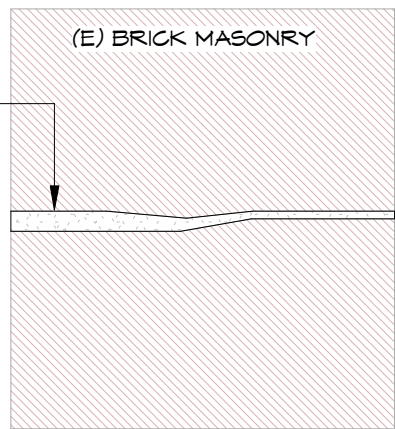
Sheet Number	Sheet Name	Sheet Issue Date
S001	STRUCTURAL NOTES & TYPICAL DETAILS	02/10/2022
S002	ENTRY CATTLE GUARD REPAIRS	02/10/2022



(E) MORTAR REMOVAL

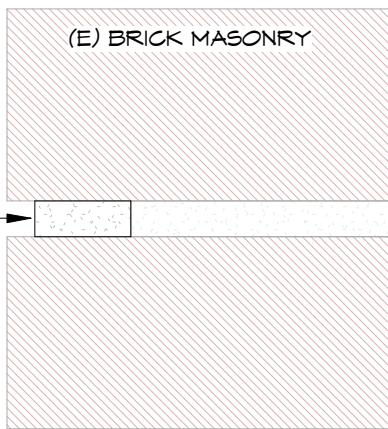
SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON REQUIRED MATERIALS, METHODS, ETC.

REMOVE LOOSE MATERIAL FROM CRACK AND WIDEN TO 1/8" MIN. WIDE IF NECESSARY. TAPE AROUND CRACK TO PROVIDE A CLEAN NEAT FINISHED APPEARANCE. FILL CRACK SOLID WITH GEMENTITIOUS PATCHING MATERIAL, COLOR MATCHED TO CLEAN BRICK. USE "M10 STONE RESTORATION MORTAR" BY JAHN RESTORATION PER MANUFACTURER'S RECOMMENDATIONS



SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON REQUIRED MATERIALS, METHODS, ETC.

INSTALL (N) MORTAR TO MATCH DEPTH OF ORIGINAL MORTAR AND TOOL JOINT AS REQUIRED TO MATCH ADJACENT MORTAR JOINTS



MORTAR REPLACEMENT

TYP. CONCRETE CRACK REPAIR NOTES

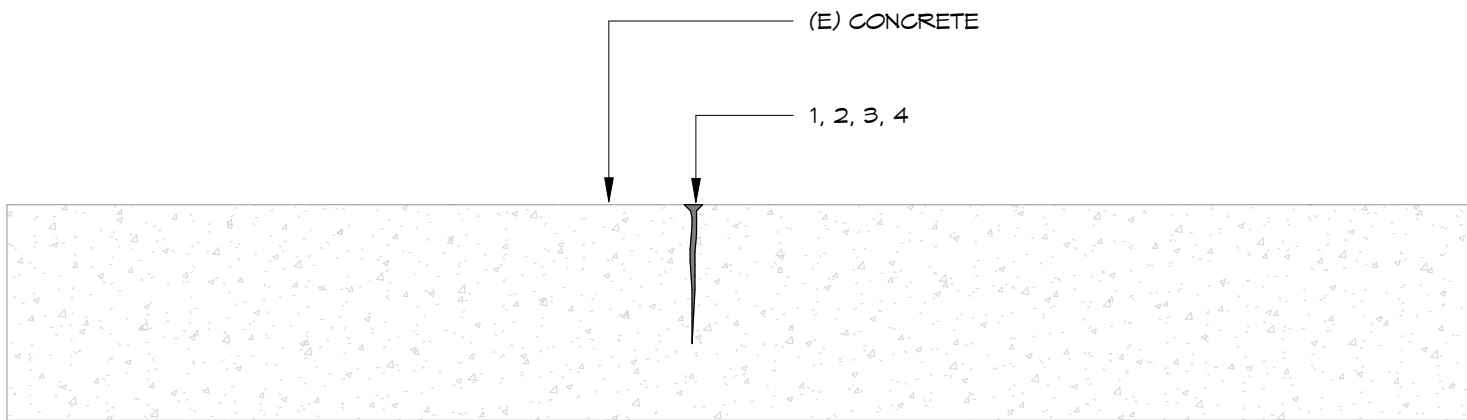
1.

IDENTIFY SLAB CRACKS OR JOINTS TO BE REPAIRED AND VEE-NOTCH TOP OF CRACK BY APPROVED MECHANICAL MEANS.
2.

REMOVE DUST AND DEBRIS FROM CRACK BY BRUSHING AND BLOWING WITH CLEAN COMPRESSED AIR.
3.

AT CRACKS IN HORIZONTAL SURFACES, GRAVITY FEED OR USE EPOXY INJECTION TECHNIQUES TO FILL CRACK FULL DEPTH PER MANUFACTURER'S RECOMMENDATIONS. AT CRACKS IN VERTICAL SURFACES, USE EPOXY INJECTION TECHNIQUES TO FILL CRACKS FULL DEPTH PER MANUFACTURER'S RECOMMENDATIONS. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON REQUIRED MATERIALS, METHODS, ETC.
4.

COMPLY WITH ALL MANUFACTURER RECOMMENDATIONS AND REQUIREMENTS. REPAIR PRODUCTS LISTED ARE BASIS-OF-DESIGN PRODUCTS. CONTRACTOR MAY SUBMIT ALTERNATE PRODUCTS TO THE EOR FOR REVIEW AND APPROVAL. PROPOSED ALTERNATE MATERIALS SHALL MEET OR EXCEED THE PROPERTIES OF THE BASIS-OF-DESIGN PRODUCTS.



TYP. CONCRETE SPALL REPAIR NOTES

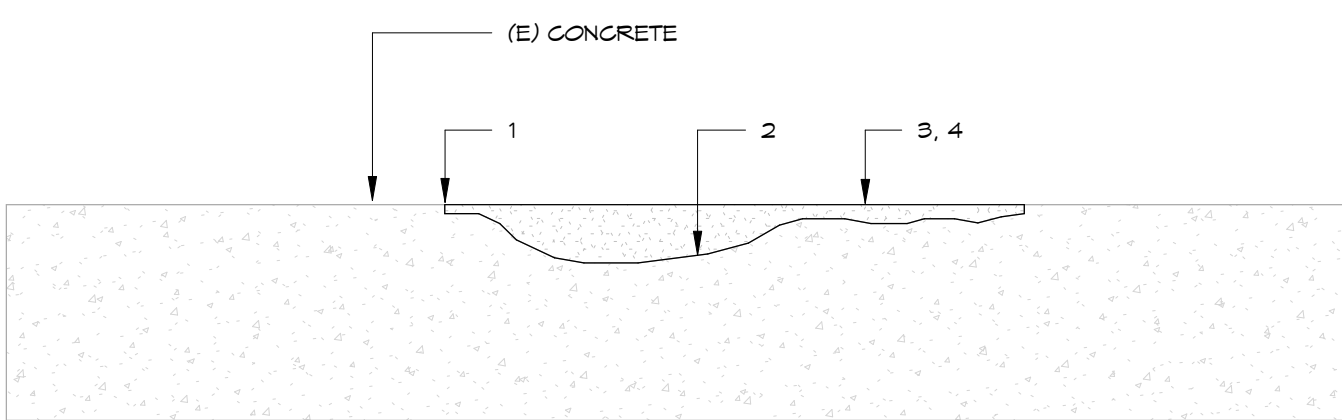
1.

IDENTIFY SPALLED AREAS TO BE REPAIRED AND SAWNt AROUND PERIMETER OF AREA TO 1/4" DEPTH. REMOVE UNSOUND CONCRETE BY APPROVED MECHANICAL MEANS TO 1/4" MINIMUM DEPTH OR AS REQUIRED TO REACH SOUND CONCRETE BELOW. REPAIR DEPTHS ARE GENERALLY EXPECTED TO BE SHALLOW; IF DEPTH OF UNSOUND CONCRETE EXCEEDS 2" CONTACT THE EOR IMMEDIATELY FOR ADDITIONAL REVIEW AND DIRECTION. KEEP REPAIR AREAS RECTANGULAR TO GREATEST EXTENT POSSIBLE.
2.

PRIME SURFACES OF CONCRETE AND REBAR WITH "Sika ARMATEC 110 EPOCER" PER MANUFACTURER'S RECOMMENDATIONS.
3.

INSTALL "Sikarepair-222" (HORIZONTAL SURFACES) OR "Sikarepair-223" (VERTICAL & OVERHEAD SURFACES) FULL DEPTH AT REPAIR AREA PER MANUFACTURER'S RECOMMENDATIONS AND AS REQUIRED TO MATCH SURFACE LEVEL AND FINISH OF ADJACENT CONCRETE. NOTE THAT APPLICATION LAYER THICKNESS MAY BE LIMITED IN DEPTH (I.E. 1-1/2" MAX.) SO APPLICATION IN MULTIPLE LAYERS OR USE OF AGGREGATE EXTENSION MAY BE REQUIRED.
4.

COMPLY WITH ALL MANUFACTURER RECOMMENDATIONS AND REQUIREMENTS INCLUDING AGGREGATE EXTENSION IF REQUIRED, CURING, ETC. REPAIR PRODUCTS LISTED ARE BASIS-OF-DESIGN PRODUCTS. CONTRACTOR MAY SUBMIT ALTERNATE PRODUCTS TO THE EOR FOR REVIEW AND APPROVAL. PROPOSED ALTERNATE MATERIALS SHALL MEET OR EXCEED THE PROPERTIES OF THE SPECIFIED BASIS-OF-DESIGN PRODUCTS.



4 Typ. Brick Masonry Crack Repair  
6" = 1'-0"

3 Typ. Brick Masonry Repointing  
6" = 1'-0"

2 Typ. Concrete Crack Repair  
1 1/2" = 1'-0"

1 Typ. Concrete Spall Repair  
1 1/2" = 1'-0"



Paul Cavin  
Architect LLC

1575 Delucchi Lane, Suite 120  
Reno, Nevada 89502

office: (775) 284-7083  
mobile: (775) 842-0261

www.paulcavindesign.com  
paul@paulcavindesign.com

professional seal



consultant

CFBR STRUCTURAL GROUP, LLC  
5425 LOUIE LN, RENO, NV 89511  
P: (775) 525-1113

TYSON COLOVICH, PE  
NV LIC. # 19370  
CA LIC. # C76006

MATTHEW FETTING, PE  
NV LIC. # 20004  
CA LIC. # C74178

CHRIS ROPER, PE/SE  
NV LIC. # 15032  
CA LIC. # S0734

project

Dangberg Home Ranch  
Restoration Projects  
Douglas County Community Services  
1594 Esmeralda Avenue  
Minden, Nevada 89423

revisions

No.	Description	Date

drawn by	RGP
reviewed by	CMR
date	02/10/2022
project number	21025
drawing name	

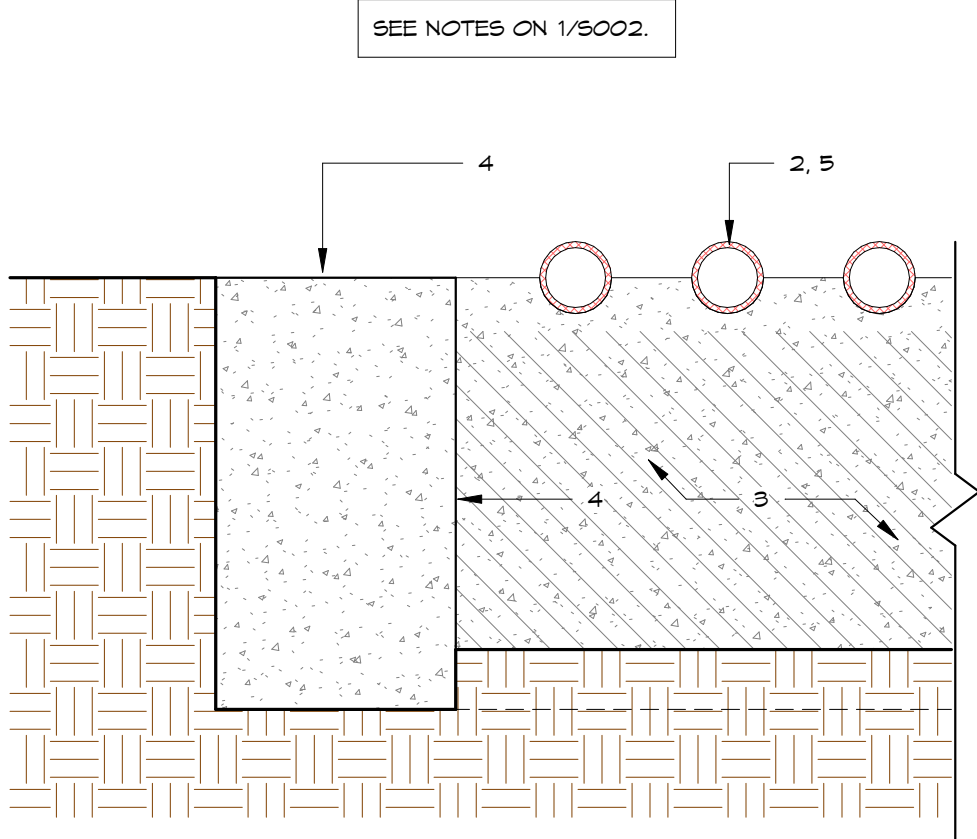
ENTRY  
CATTLE  
GUARD  
REPAIRS

sheet number

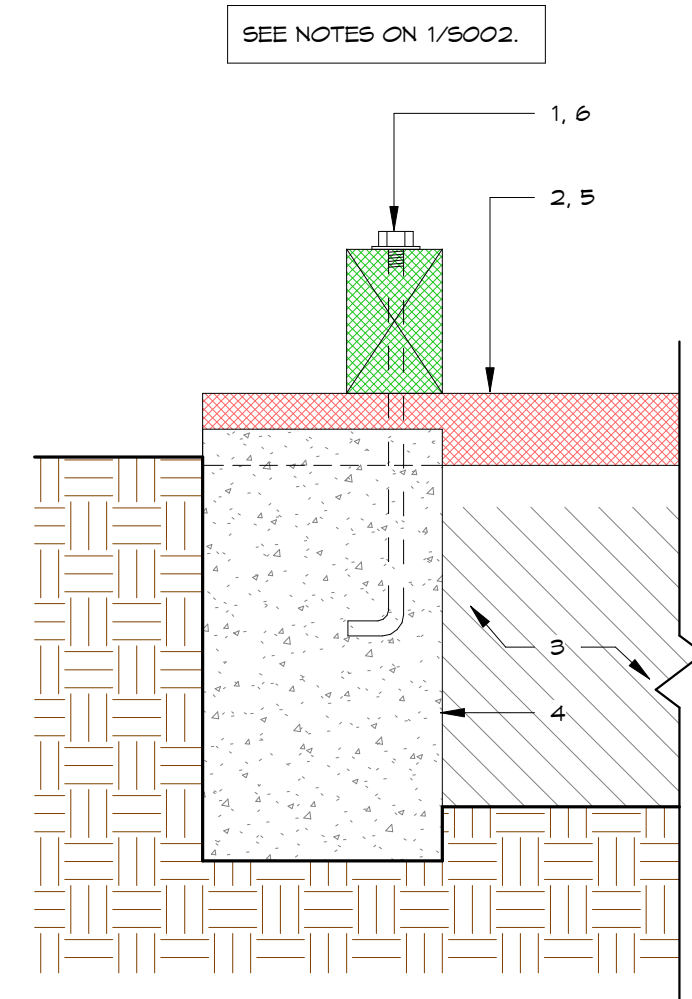
S002

CATTLE GUARD REPAIR NOTES

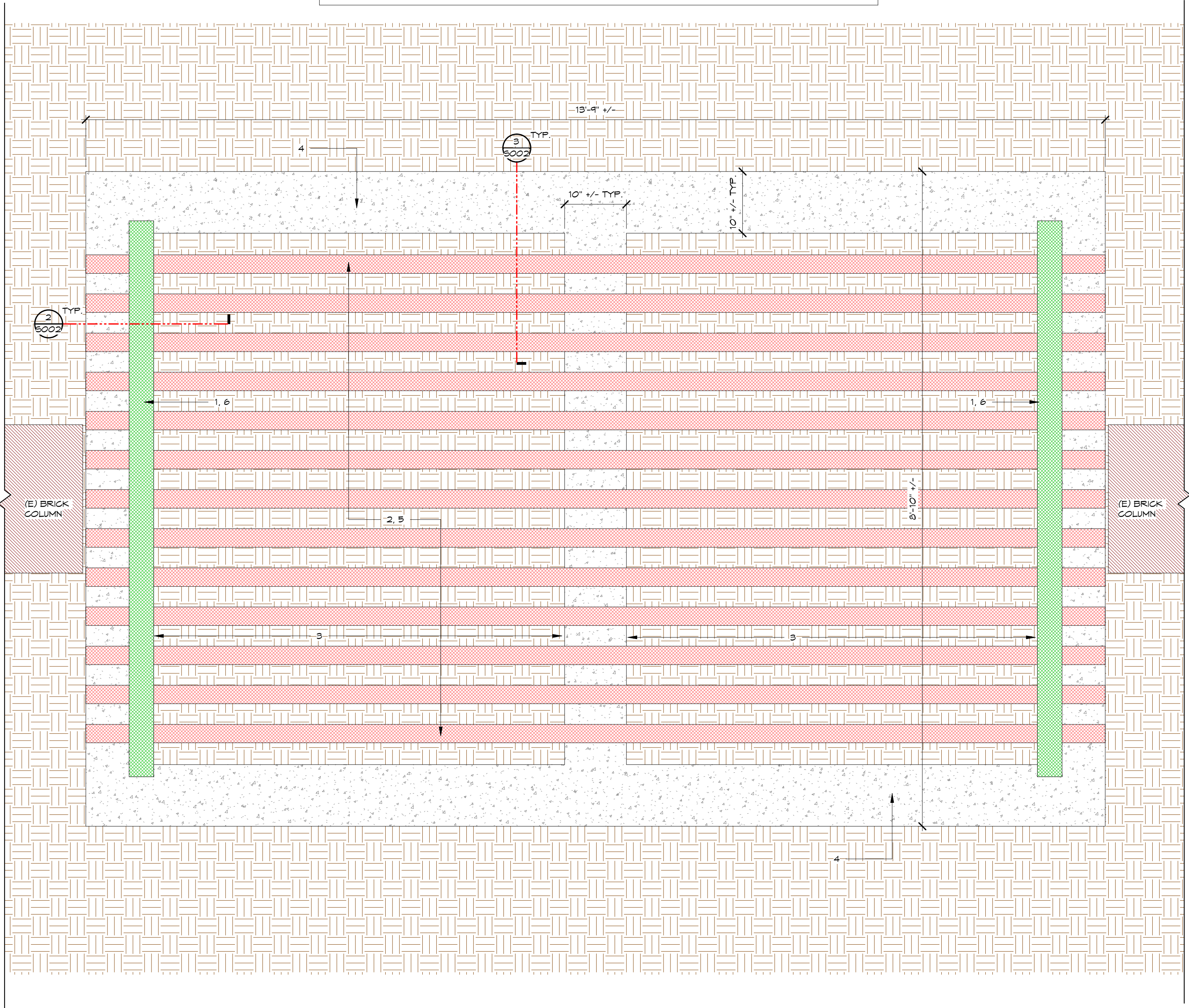
1. (E) 4X6 EA. SIDE OF CATTLE GUARD. REMOVE AND SET ASIDE FOR RE-INSTALLATION LATER. TAKE CARE DURING REMOVAL TO AVOID DAMAGE TO (E) STEEL BOLTS AND NUTS HOLDING THE 4X6 IN PLACE. SET NUTS ASIDE FOR RE-INSTALLATION LATER.
2. (E) 3" PIPES. REMOVE AND SET ASIDE FOR RE-INSTALLATION LATER. NUMBER PIECES SO THEY CAN BE RE-INSTALLED IN THE SAME LOCATIONS.
3. CLEAN ALL LEAVES AND DEBRIS FROM THE KELLS ON EACH SIDE OF THE CATTLE GUARD.
4. PATCH DETEIORATED AND SPALLING CONCRETE ON TOP FACES OF NORTH AND SOUTH WALLS AND ON ALL INTERIOR VERTICAL FACES OF ALL THE 10" CONCRETE WALLS. WHERE IMPRINTS OCCUR (I.E. DOS PAN PRINTS, ETC.) THEY SHALL BE LEFT AS-IS AND NOT PATCHED.
5. RE-INSTALL (E) 3" PIPES AT THE SAME LOCATIONS THEY WERE REMOVED FROM, BUT WITH ENDS CLEANLY ALIGNED EACH SIDE OF THE CATTLE GUARD.
6. RE-INSTALL 4X6 MEMBERS EACH SIDE OF THE CATTLE GUARD.



3 CATTLEGUARD SECTION  
1 1/2" = 1'-0"



2 CATTLEGUARD SECTION  
1 1/2" = 1'-0"

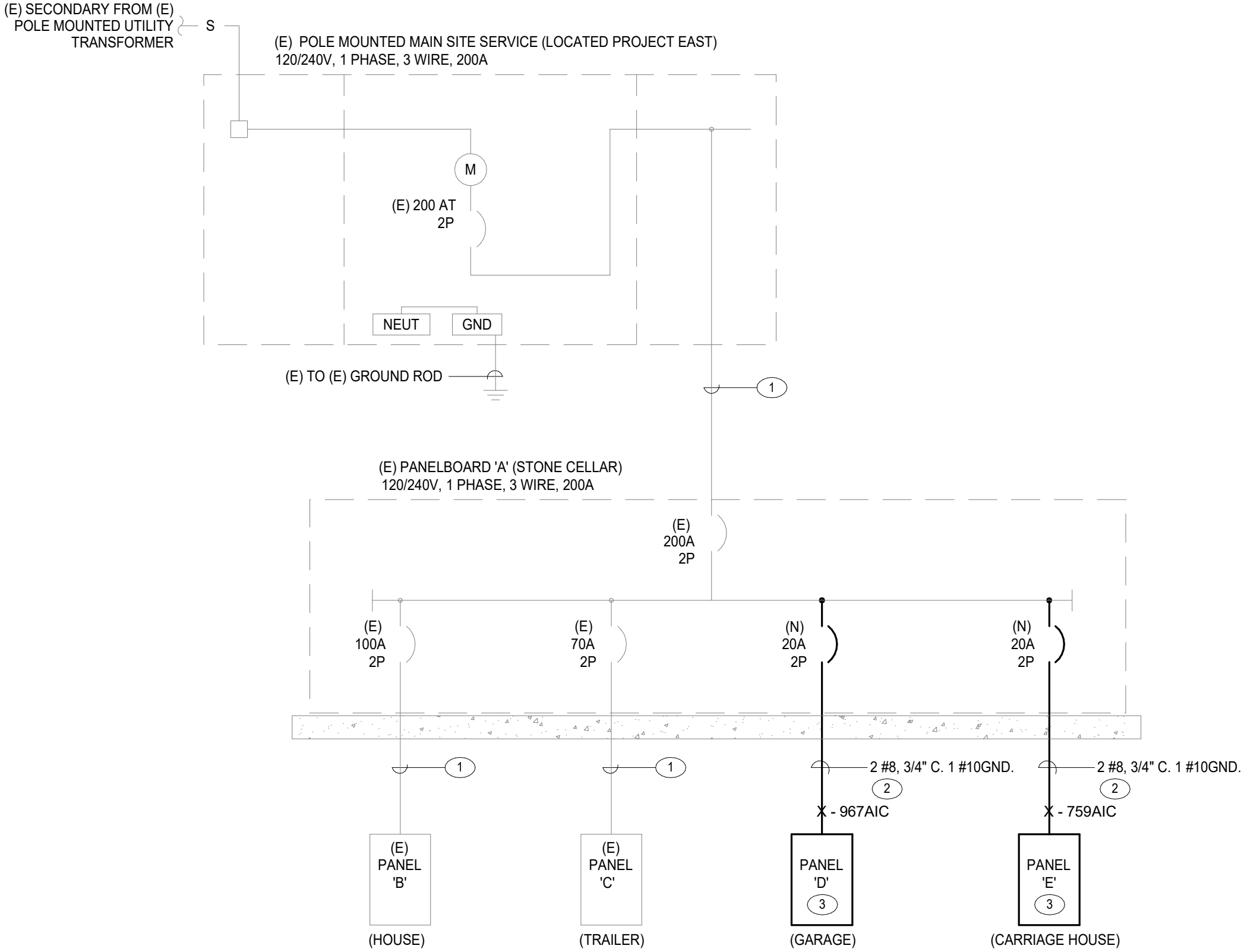


1 CATTLE GUARD PLAN VIEW  
1" = 1'-0"









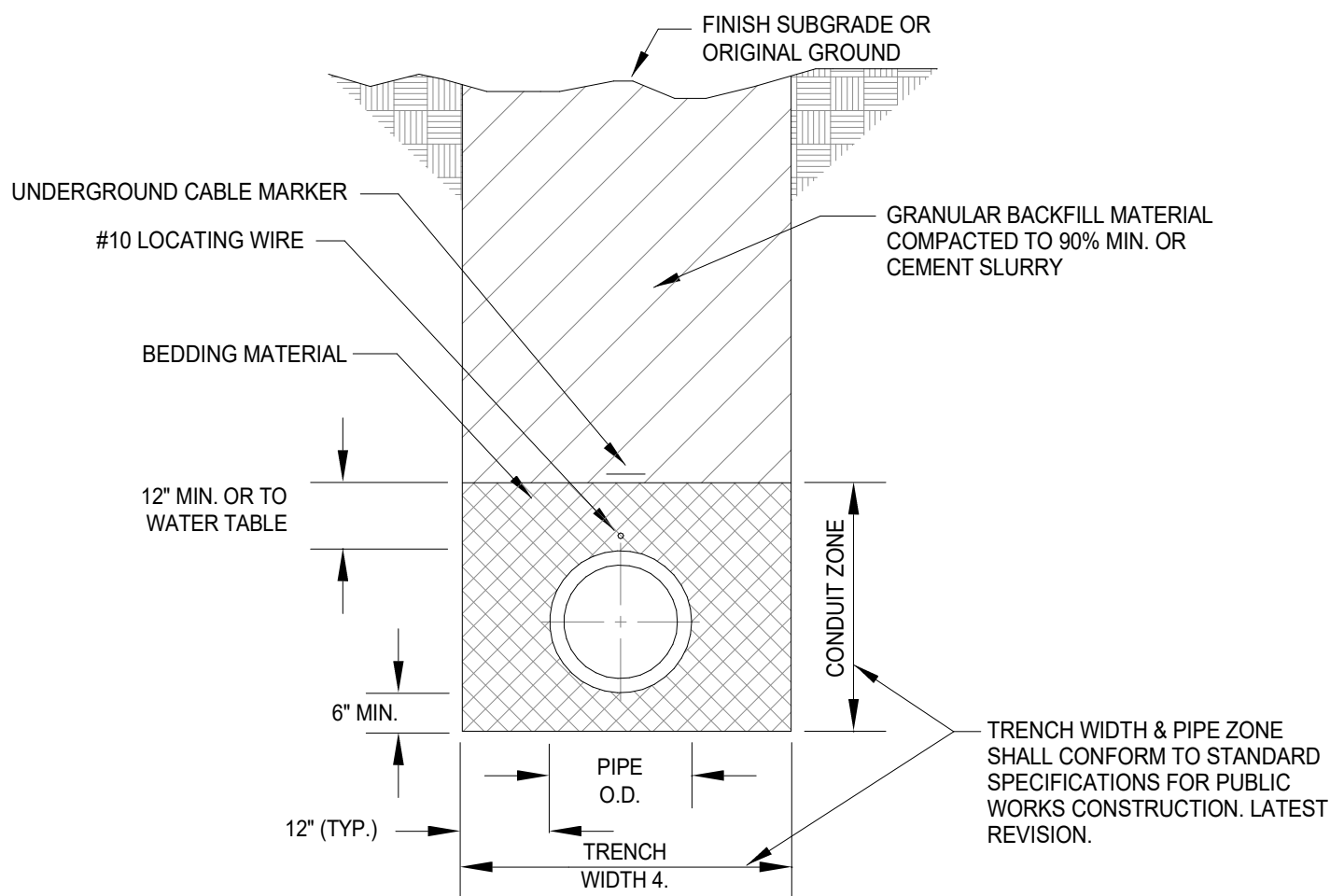
### GENERAL NOTES

- (E) AND/OR SOLID LINES INDICATE EXISTING EQUIPMENT, (N) AND/OR HEAVY SOLID LINES INDICATE NEW EQUIPMENT UNLESS NOTED OTHERWISE.
- SALVAGEABLE ITEMS REMOVED DURING DEMOLITION SHALL BE OFFERED TO THE OWNERS REPRESENTATIVE PRIOR TO DISPOSAL OR REMOVAL FROM SITE.
- ALL CONDUIT AND WIRING SHALL BE NEW. ALL WIRING AND BUSSING TO BE COPPER, ALUMINUM IS NOT ALLOWED.

### SHEET NOTES

- (E) IN-GRADE CONDUIT AND WIRE.
- INTERCEPT AT EXISTING BUILDING EXTERIOR EXTEND VIA UNDERGROUND AS INDICATED ON THE SITE PLAN. ALL EXISTING FEEDERS TO REMAIN. PROVIDE EXTERIOR AND IN-GRADE PULL CANS AND SPLICE BOXES WITH ACCESS TO SAME AS NECESSARY.
- SURFACE MOUNT ON BUILDING EXTERIOR AS INDICATED ON PLANS. PROVIDE NEMA 3R ENCLOSURE AND WEATHERTIGHT CONNECTIONS.

### 1 Online Diagram E002 Not To Scale



#### NOTES:

- ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST REVISION.
- BEDDING MATERIAL SHALL BE CLASS "A", "B", OR "C" AND SHALL BE COMPACTED TO 90% MINIMUM. FOR ELECTRICAL CONDUIT TRENCHES LESS THAN 12" IN WIDTH, INCLUDING VERMIER TRENCHES. BEDDING USED AS AN ALTERNATE TO CLASS "A", "B", OR "C" MATERIAL WITH WRITTEN APPROVAL FROM THE STATE ENGINEER FOR EACH SPECIFIC APPLICATION.
- ALL EXCAVATIONS SHALL CONFORM TO THE LATEST O.S.H.S.-REQUIREMENTS. SHORING OR SLOPE CUT MAY BE NECESSARY, BUT THERE WILL BE NO PAYMENT FOR ADDITIONAL EXCAVATION, BEDDING, BACKFILL, OR SHORING.
- CONTINUOUS UNDERGROUND CABLE MARKER SHALL BE INSTALLED.

### 2 Trench Excavation / Backfill E002 Not To Scale

Panel: (E) A							Location:				
Type	Description	Trip	Poles	#	A	B	#	Poles	Trip	Description	Type
E	(E) TRAILER SUB PANEL 'C'	70	2	1	3886	9066 VA	2	2	100	(E) HOUSE SUB PANEL	E
E	(E) STONE BUILDING POWER	20	1	5	500	500 VA	6	1	20	(E) LOAD	E
E	(E) LOAD	20	1	7		500 VA	8	1	20	(E) LAUNDRY BLDG POWER	E
E	(E) LOAD	20	1	9	500	500 VA	10	1	20	(E) LOAD	E
L; R; Spare	PANEL 'E'	20	2	11		940 VA	12	1	20	(E) LOAD	E
--	Space	--	1	15		--	16	2	20	PANEL 'D'	L; R; Spare
--	Space	--	1	17	--	--	18	1	--	Space	--
--	Space	--	1	19		--	20	1	--	Space	--
--	Space	--	1	21	--	--	22	1	--	Space	--
--	Space	--	1	23		--	24	1	--	Space	--
--	Space	--	1	25	--	--	26	1	--	Space	--
--	Space	--	1	27		--	28	1	--	Space	--
--	Space	--	1	29	--	--	30	1	--	Space	--
--	Space	--	1	31		--	32	1	--	Space	--
Total Load:					16232 VA	15392 VA					
Total Amps:					135 A	128 A					
Copper Bus Size	200	Ground	Standard		Notes: EXISTING PANELBOARD.  NEW LOADS ARE SHOWN IN BOLD.  MAXIMUM ONE YEAR HISTORICAL LOAD WAS 25.9kW ON 02/13/2020 AND IS SHOWN AS EXISTING LOADS. THE HISTORICAL MAXIMUM DEMAND AT 125% PLUS THE NEW LOAD OF 2.22kVA EQUALS 34.6kVA. THIS PANELBOARD IS CALCULATED TO WITHSTAND THE ADDED NEW LOAD.						
Voltage	120/240 Single	Mounting	Surface								
Phase	1	Enclosure	NEMA 1								
Wire	3	# of 1-Pole Circuits	32								
Lugs		Connected kVA:	31624 VA								
Breaker AIC Rating		Connected Amps:	132 A								
Neutral	100.00%	Demand kVA:	31624 VA								
Feeder OCPD Size		Demand Amps:	132 A								

Panel: D										Location:			
Type	Description	Trip	Poles	#	A		B		#	Poles	Trip	Description	Type
L	GARAGE LIGHTING	20	1	1	200	540 VA			2	1	20	GARAGE RECEPTACLE	R
--	Spare	20	1	3			0 VA	0 VA	4	1	20	Spare	--
--	Spare	20	1	5	0	0 VA			6	1	20	Spare	--
Total Load:					740 VA		0 VA						
Total Amps:					6 A		0 A						
Copper Bus Size	100	Ground	Standard		Notes:								
Voltage	120/240 Single	Mounting	Surface										
Phase	1	Enclosure	NEMA 3R										
Wire	3	# of 1-Pole Circuits	6										
Lugs	MCB	Connected kVA:	740 VA										
Breaker AIC Rating	10KAIC	Connected Amps:	3 A										
Neutral	100.00%	Demand kVA:	740 VA										
Feeder OCPD Size	20A	Demand Amps:	3 A										

Panel: E						Location:					
Type	Description	Trip	Poles	#	A	B	#	Poles	Trip	Description	Type
L	CARRIAGE HOUSE LIGHTING	20	1	1	400	540 VA	2	1	20	CARRIAGE RECEPTACLE...	R
--	Spare	20	1	3		0 VA	4	1	20	CARRIAGE RECEPTACLE...	R
--	Spare	20	1	5	0	0 VA	6	1	20	Spare	--
Total Load:					940 VA	540 VA					
Total Amps:					8 A	5 A					
Copper Bus Size	100	Ground	Standard			Notes:					
Voltage	120/240 Single	Mounting	Surface								
Phase	1	Enclosure	NEMA 3R								
Wire	3	# of 1-Pole Circuits	6								
Lugs	MCB	Connected kVA:	1480 VA								
Breaker AIC Rating	10KAIC	Connected Amps:	6 A								
Neutral	100.00%	Demand kVA:	1480 VA								
Feeder OCPD Size	20A	Demand Amps:	6 A								

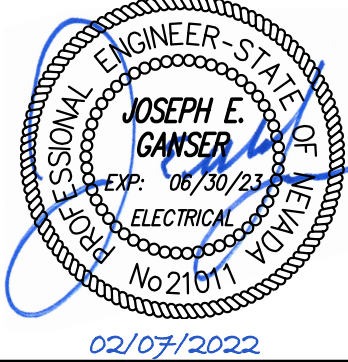
### Paul Cavin Architect LLC

1575 Delucchi Lane, Suite 120  
Reno, Nevada 89502

office: (775) 284-7083  
mobile: (775) 842-0261

www.paulcavindesign.com  
paul@paulcavindesign.com

professional seal



consultant

project

Dangberg Home Ranch  
Restoration Projects

Dangberg Home Ranch  
1450 nv-88  
Minden, Nevada 89423

revisions

No.	Description	Date

drawn by	Author
reviewed by	Checker
date	02/10/2022
project number	21018
drawing name	

Online Diagram,  
Panel Schedules,  
Trench Detail

sheet number

E002



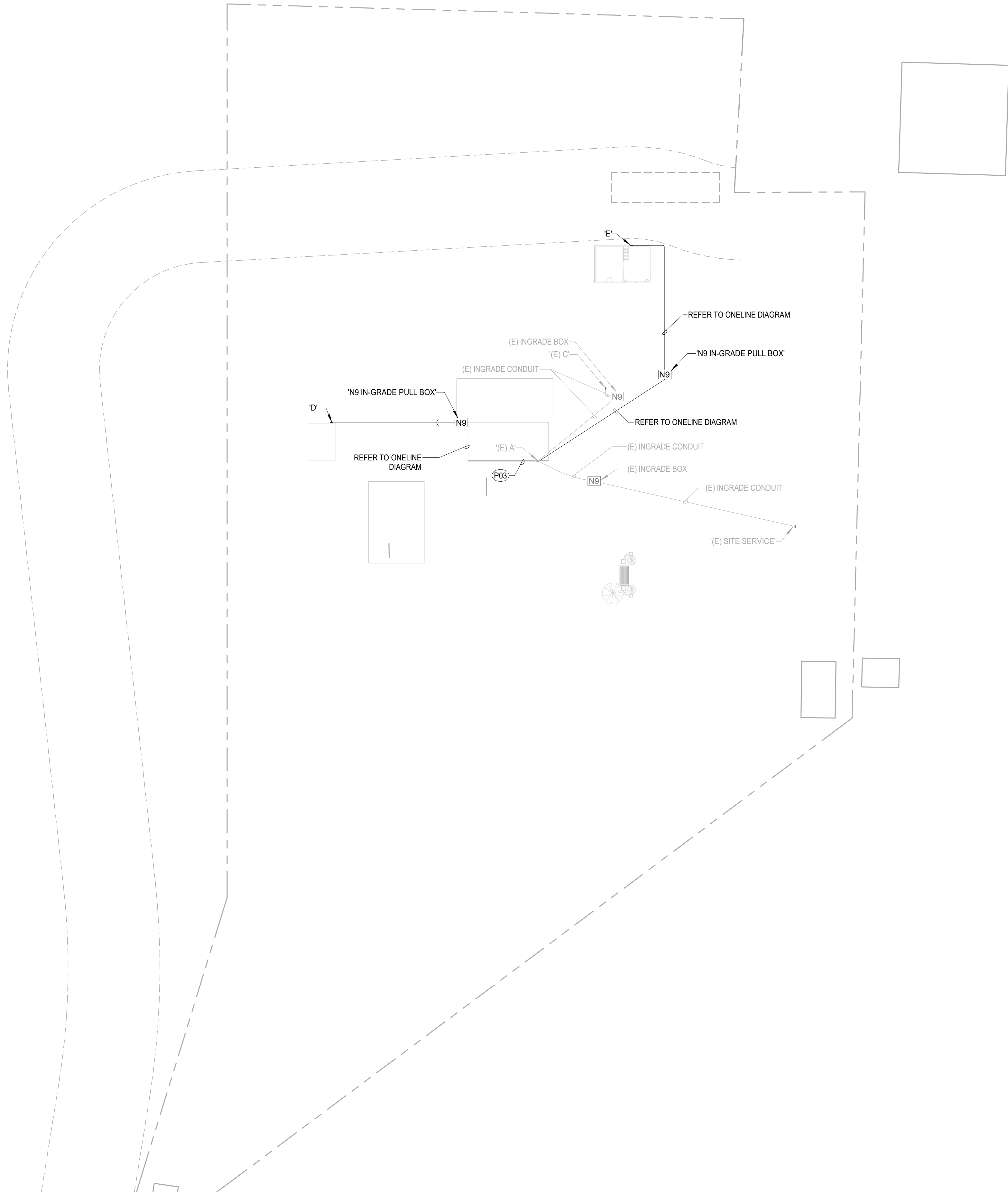
PK Electrical, Inc.

Engineering Design Consulting

681 Sierra Rose Drive, Suite B | Reno, NV 89511 | 775.826.9010  
4601 DTC Boulevard, Suite 740 | Denver, CO 80237 | 720.481.3290  
pkelctrical.com

21087





1

E101

Electrical Site Plan

Scale: 1" = 40'-0"

GENERAL NOTES

- (E) AND/OR SOLID HALFTONE LINES INDICATE EXISTING EQUIPMENT, (R) AND/OR DASHED LINES INDICATE RELOCATED EQUIPMENT, (N) AND/OR SOLID LINES INDICATE NEW EQUIPMENT UNLESS NOTED OTHERWISE.
- SEE ONLINE DIAGRAM(S) FOR CONDUIT, WIRE SIZES AND EQUIPMENT REQUIREMENTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH APPLICABLE PUBLIC WORKS STANDARDS, DRAWINGS AND REPRESENTATIVES FOR DETERMINING THE EXACT RESPONSIBILITY OF EACH PARTY.
- SEE UTILITY DRAWINGS FOR ALL UTILITY WORK WORK REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR INCLUDING ALL WORK REQUIRED IN BID. COORDINATE WITH EACH NEW AND EXISTING SITE UTILITY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL 1-800-227-2600 FOR LOCATES PRIOR TO DIGGING. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO LOCATE ALL NON-UTILITY UNDERGROUND ITEMS.
- THE MAXIMUM NUMBER OF CONDUIT BENDS SHOULD NOT BE GREATER THAN 270 DEGREES BETWEEN PULLING STRUCTURES. THIS INCLUDES THE AGGREGATE OF ALL HORIZONTAL AND VERTICAL CHANGES.
- ALL CONDUIT, INNERDUCT, PULLBOXES AND VAULTS SHALL BE LABELED PER THE SPECIFICATIONS.
- ALL RECEPTACLES WITH WEATHER PROOF DESIGNATION SHALL BE PROVIDED WITH 'WHILE IN USE' COVERS.
- ALL CONDUIT, INNERDUCT, PULLBOXES AND VAULTS SHALL BE LABELED PER THE SPECIFICATIONS.
- COORDINATE LOCATION OF BELOW-GRADE CONDUITS, DUCT BANKS, ETC. WITH CIVIL ENGINEER AND OTHER TRADES AND ALL EXISTING CONDITIONS PRIOR TO ROUGH-IN.

SHEET NOTES

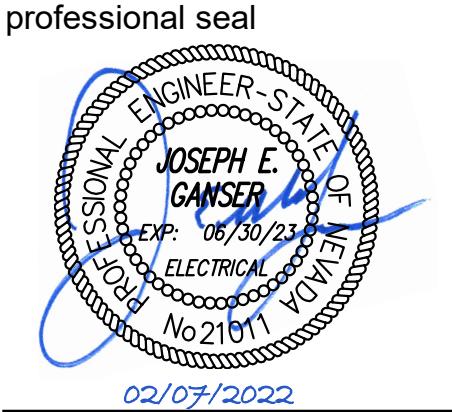
- P03 ROUTE CONDUIT ON BUILDING EXTERIOR SIMILAR TO EXISTING CONDUIT. PAINT TO MATCH SURROUNDING FINISH PER ARCHITECT DIRECTION. PRIOR TO ROUGH-IN TO MINIMIZE CONDUIT VISIBILITY SUBMIT TO ARCHITECT COMPLETE SHOP DRAWING OF CONTRACTOR PROPOSED CONDUIT ROUTING.

Paul Cavin  
Architect LLC

1575 Delucchi Lane, Suite 120  
Reno, Nevada 89502

office: (775) 284-7083  
mobile: (775) 842-0261

www.paulcavindesign.com  
paul@paulcavindesign.com



consultant

project

Dangberg Home Ranch  
Restoration Projects

Dangberg Home Ranch  
1450 nv-88  
Minden, Nevada 89423

revisions

No.	Description	Date

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reviewed by	Checker
date	02/10/2022
project number	21018
drawing name	

Electrical Site Plan

sheet number

E101



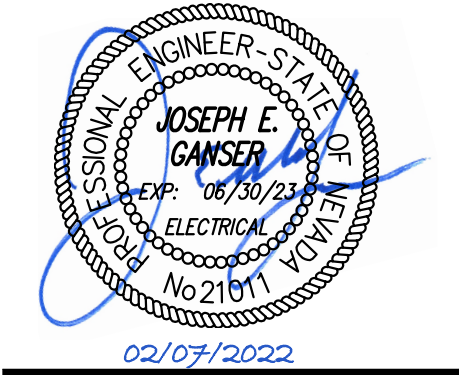
Paul Cavin  
Architect LLC

1575 Delucchi Lane, Suite 120  
Reno, Nevada 89502

office: (775) 284-7083  
mobile: (775) 842-0261

www.paulcavindesign.com  
paul@paulcavindesign.com

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Minden, Nevada 89423

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No.	Description	Date

drawn by	Author
reviewed by	Checker
date	02/10/2022
project number	21018
drawing name	

Lighting Plans

sheet number

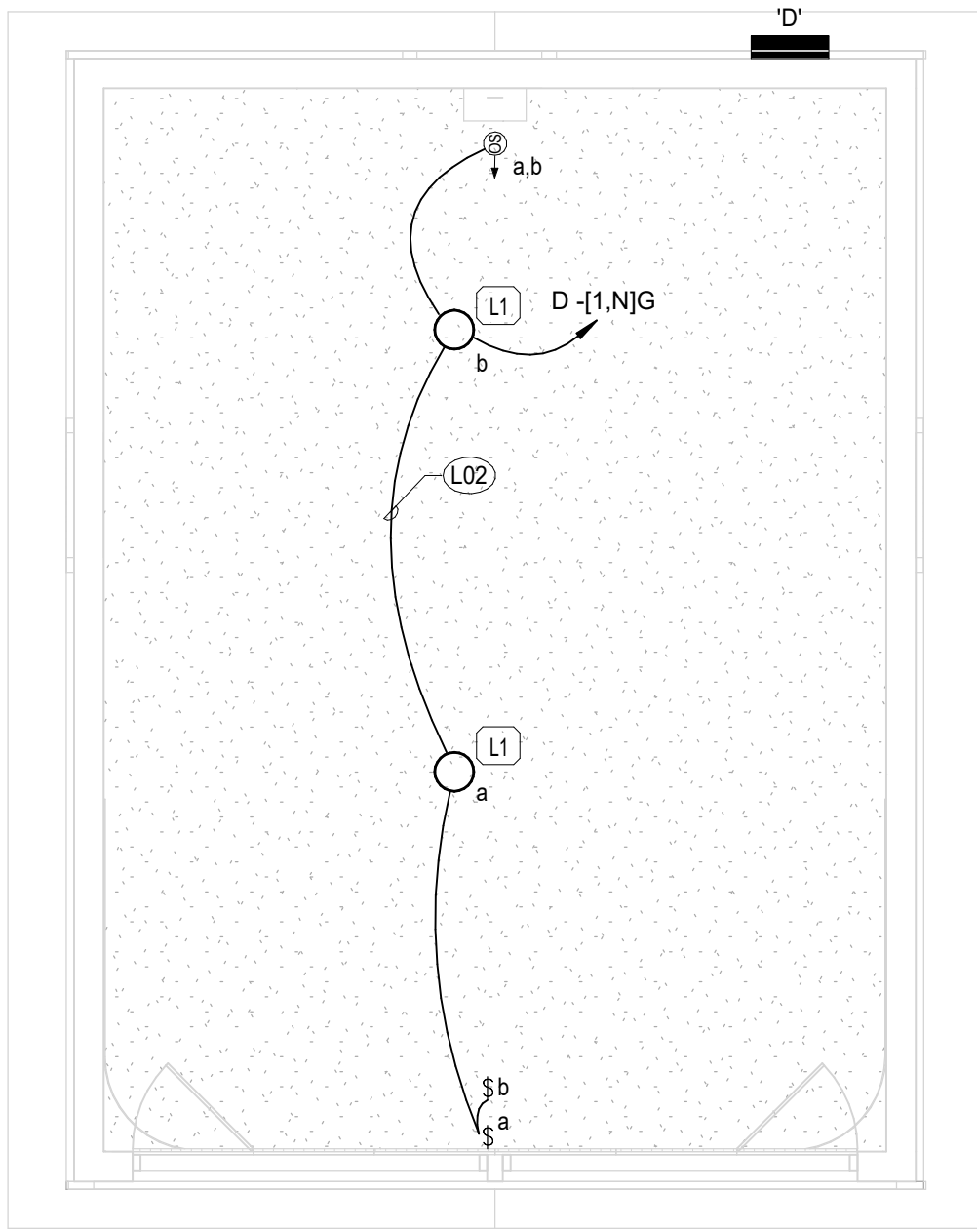
E201

SHEET NOTES

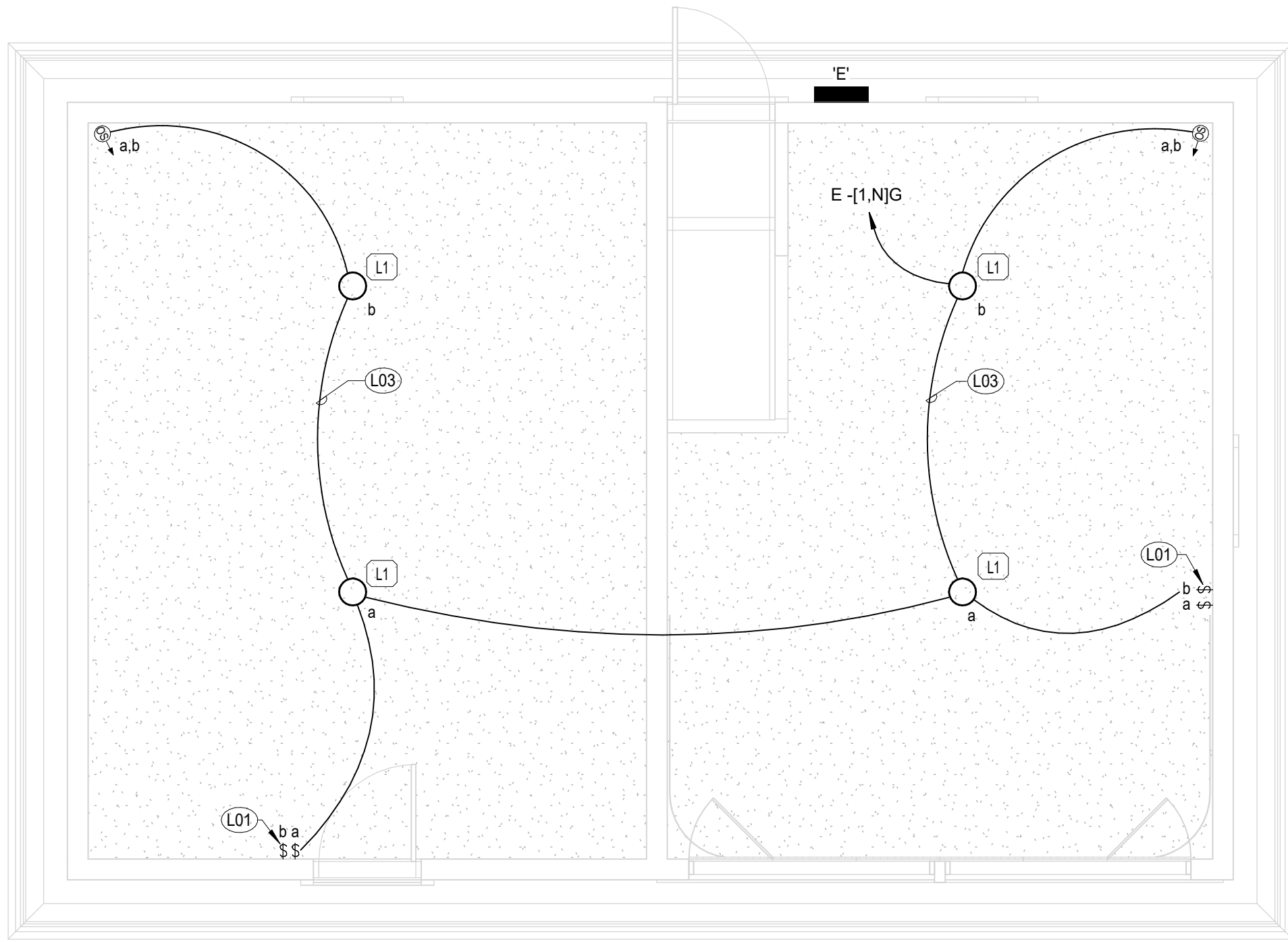
- L01 ALL FACEPLATES SHALL BE STAINLESS STEEL. TYPICAL.
- L02 ROUTE WIREMOLD V500 SERIES OR EQUAL SURFACE RACEWAY COMPLETE WITH ALL NECESSARY TRANSITIONS, SUPPORTS AND CONNECTIONS MOUNTED HIGH AND TIGHT TO BUILDING LINES. PAINT TO MATCH SURROUNDING FINISH PER ARCHITECT DIRECTION. PRIOR TO ROUGH-IN TO MINIMIZE CONDUIT VISIBILITY. SUBMIT TO ARCHITECT COMPLETE SHOP DRAWING OF CONTRACTOR PROPOSED CONDUIT ROUTING.
- L03 ROUTE NEW CONDUIT ABOVE NEW CEILING. CONFIRM ROUTING AND MOUNTING WITH ARCHITECT PRIOR TO ROUGH-IN.

GENERAL NOTES

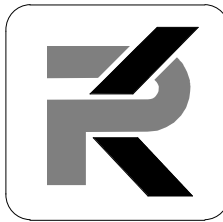
1. (E) AND/OR SOLID HALFTONE LINES INDICATE EXISTING EQUIPMENT. (R) AND/OR DASHED LINES INDICATE RELOCATED EQUIPMENT. (N) AND/OR SOLID LINES INDICATE NEW EQUIPMENT UNLESS NOTED OTHERWISE.
4. UNLESS NOTED OTHERWISE ELECTRICAL CONDUITS SHALL BE RUN CONCEALED WHERE BUILDING CONSTRUCTION ALLOWS. ANY EXPOSED CONDUIT SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. ANY EXPOSED CONDUIT, FITTING, SUPPORTS, ETC SHALL BE PAINTED TO MATCH THE SURFACE ON WHICH THEY ARE INSTALLED.
5. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS, SECTIONS, ELEVATIONS, ETC. FOR EXACT LOCATION OF LIGHTING FIXTURES.
6. EXACT LOCATION AND MOUNTING HEIGHT OF EXTERIOR BUILDING-MOUNTED FIXTURES SHALL BE COORDINATED WITH ARCHITECT PRIOR TO ROUGH-IN.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING FINAL FIXTURE LOCATIONS, ABOVE-CEILING HOUSING CLEARANCES, ETC. WITH MECHANICAL, PLUMBING, SPRINKLER CONTRACTOR AND OTHER TRADES PRIOR TO ROUGH-IN.



2 Garage Lighting Plan  
E201 Scale: 1/4" = 1'-0"



1 Carriage House Lighting Plan  
E201 Scale: 1/4" = 1'-0"



**PK Electrical, Inc.**  
*Engineering Design Consulting*  
681 Sierra Rose Drive, Suite B | Reno, NV 89511 | 775.826.9010  
4601 DTC Boulevard, Suite 740 | Denver, CO 80237 | 720.481.3290  
pkelctrical.com 21087



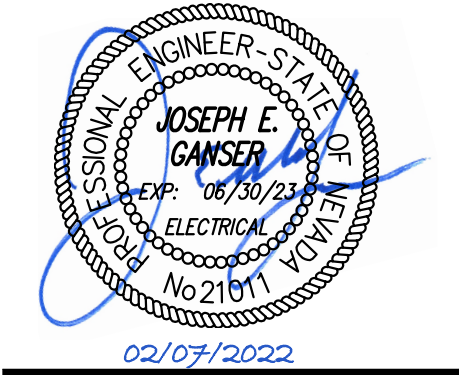
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Architect LLC

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Reno, Nevada 89502

office: (775) 284-7083  
mobile: (775) 842-0261

www.paulcavindesign.com  
paul@paulcavindesign.com

professional seal



consultant

project

Dangberg Home Ranch  
Restoration Projects

Dangberg Home Ranch  
1450 nv-88  
Minden, Nevada 89423

revisions

No.	Description	Date

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reviewed by	Checker
date	02/10/2022
project number	21018
drawing name	

Power Plans

sheet number

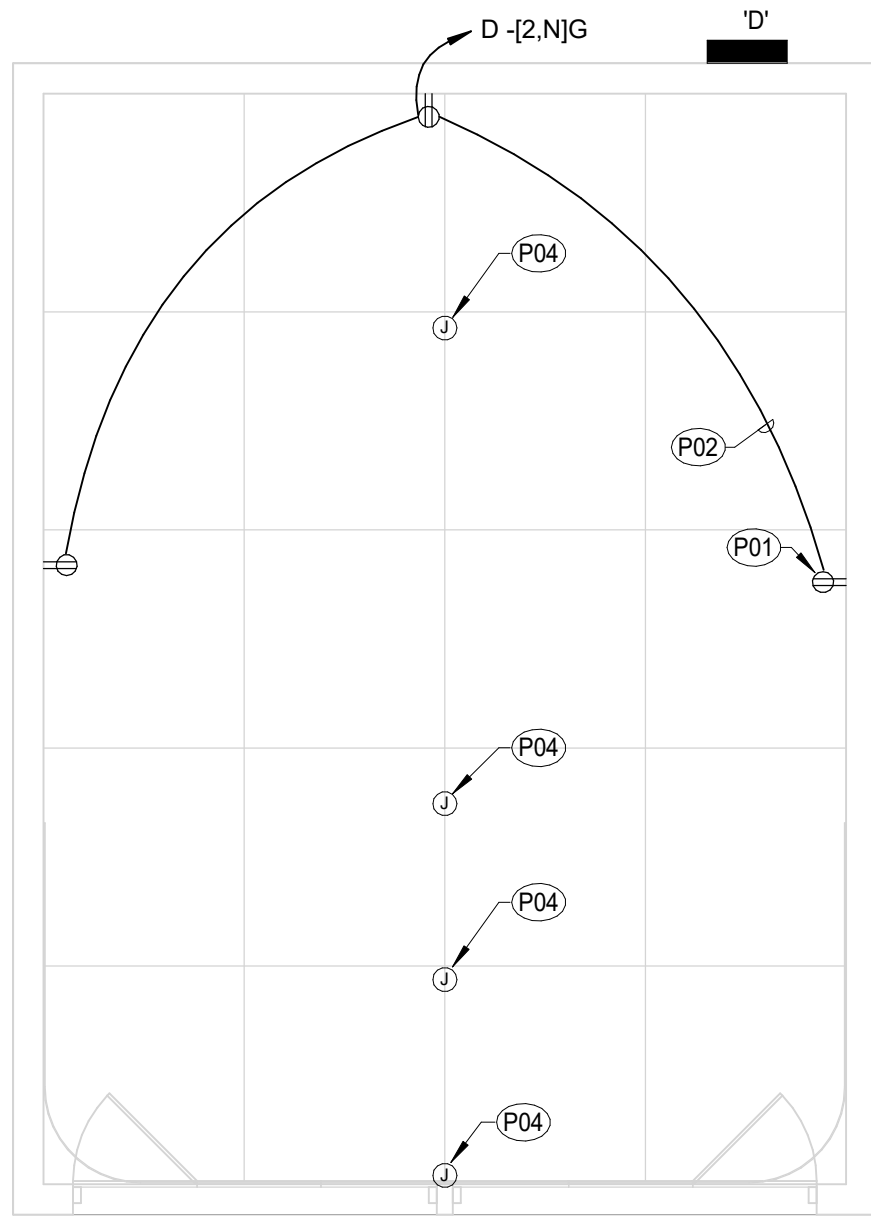
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SHEET NOTES

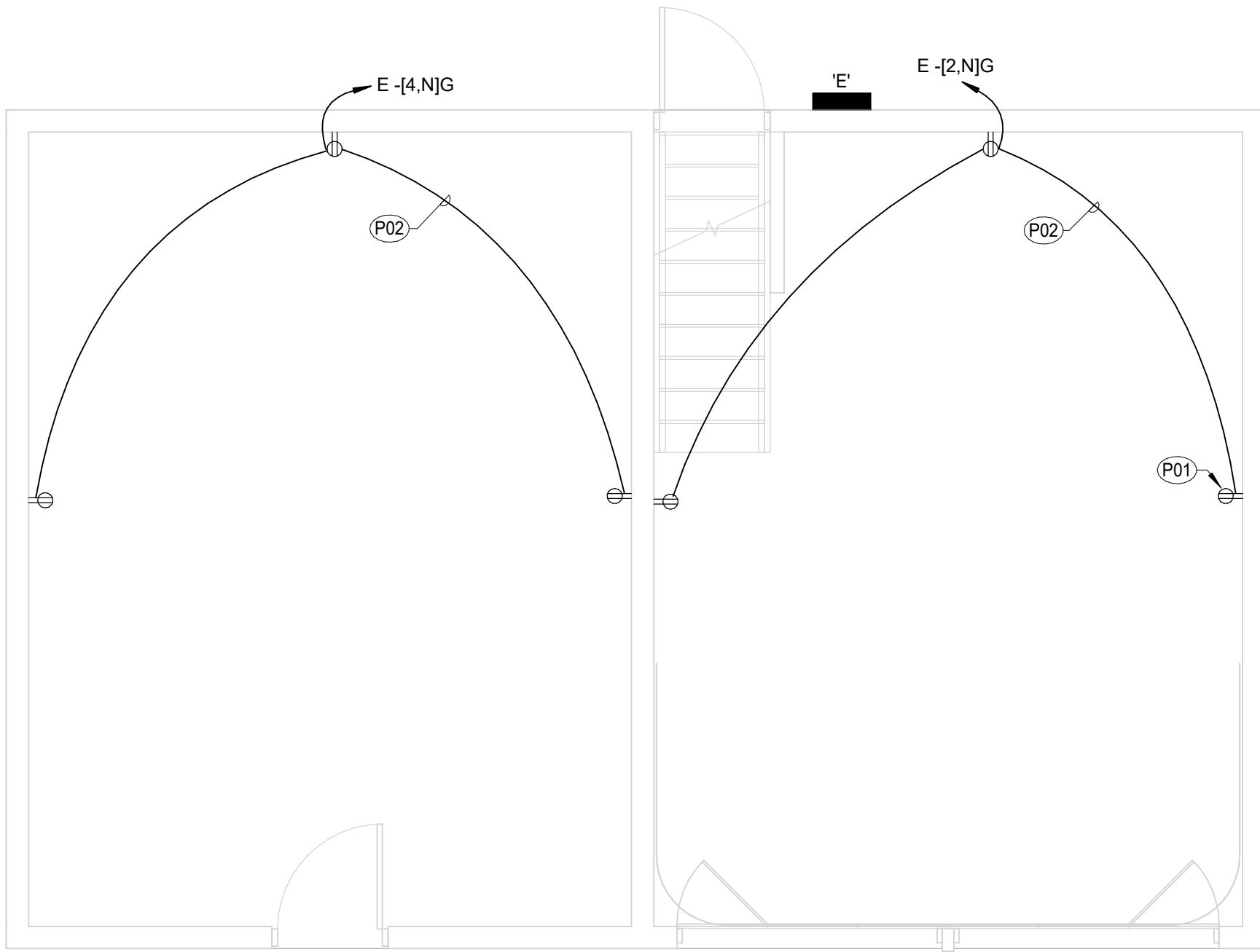
- P01 ALL FACEPLATES SHALL BE STAINLESS STEEL. TYPICAL
- P02 ROUTE WIREMOLD V500 SERIES OR EQUAL SURFACE RACEWAY COMPLETE WITH ALL NECESSARY TRANSITIONS, SUPPORTS AND CONNECTIONS MOUNTED HIGH AND TIGHT TO BUILDING LINES. PAINT TO MATCH SURROUNDING FINISH PER ARCHITECT DIRECTION. PRIOR TO ROUGH-IN TO MINIMIZE CONDUIT VISIBILITY. SUBMIT TO ARCHITECT COMPLETE SHOP DRAWING OF CONTRACTOR PROPOSED CONDUIT ROUTING.
- P04 REMOVE EXISTING ELECTRICAL DEVICES AND NON-DESTRUCTIVELY CLEAN AND REFURBISH DEVICES FOR VISUAL PURPOSES ONLY. REMOVE EXISTING KNOB AND TUBE WIRING ACCESSIBLE AND VISIBLE BELOW EXISTING CEILING.

GENERAL NOTES

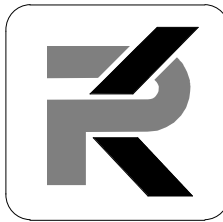
- (E) AND/OR SOLID HALFTONE LINES INDICATE EXISTING EQUIPMENT, (R) AND/OR DASHED LINES INDICATE RELOCATED EQUIPMENT, (N) AND/OR SOLID LINES INDICATE NEW EQUIPMENT UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL COORDINATE FINAL RECEPTACLE AND PANELBOARD LOCATIONS WITH THE OWNER PRIOR TO ROUGH-IN.
- COORDINATE EXACT MOUNTING HEIGHTS AND LOCATIONS OF GENERAL RECEPTACLES, SPECIAL OUTLETS, PANELBOARDS AND DISCONNECT SWITCHES WITH OWNER AND EQUIPMENT SUPPLIERS PRIOR TO ROUGH-IN.



2 Garage Power Plan  
E301 Scale: 1/4" = 1'-0"



1 Carriage House Power Plan  
E301 Scale: 1/4" = 1'-0"



**PK Electrical, Inc.**  
*Engineering Design Consulting*  
681 Sierra Rose Drive, Suite B | Reno, NV 89511 | 775.826.9010  
4601 DTC Boulevard, Suite 740 | Denver, CO 80237 | 720.481.3290  
pkelctrical.com 21087